

Planning Proposal

**Liverpool Local Environmental Plan 2008
Draft Amendment No. 38**

**Rezoning and Reclassification of Council land from
community to operational**

October 2014

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Background

This planning proposal has been drafted in accordance with Section 55 of the Environmental Planning and Assessment Act 1979 (the Act) and the Department of Planning and Infrastructure's guide to preparing planning controls.

This planning proposal contains a number of amendments to the Liverpool Local Environmental Plan 2008 (LLEP 2008). In order to limit the number of amendments to Council's principle planning instrument, it is an accepted practice to group a number of proposed changes together. This LEP amendment considers Council initiated changes at both Councillor and staff levels.

Site identification

The planning proposal applies to the following properties:

- 15 Qantas Boulevard, Middleton Grange
- 99-101 Rose Street, Liverpool
- 124A Wonga Road, Lurnea
- 84A St Andrews Boulevard, Casula
- 8 Ferrington Crescent, Liverpool
- 20A Frazer Avenue, Lurnea
- 26 Wendlebury Road, Chipping Norton
- 9 Gunsynd Avenue, Casula
- 10 Anjudy Close, Casula
- 22 Box Road, Casula
- 12A Brain Avenue, Lurnea
- 2A Deerwood Avenue, Liverpool
- 72A Grevillea Crescent, Prestons
- 230 Newbridge Road, Moorebank

Site Context

All sites are located within the Liverpool local government area and are as a result of Council initiated changes. There are a number of reclassifications and rezoning's within this amendment that proposes to reclassify Council owned land. The majority of these reclassifications are part of phase 3 of Council's Property Management Strategy which identified a number of surplus Council properties that have potential to be developed and/or sold to allow for the collection of additional funds to be placed back into the improvement of other parks within the local government area.

Land Use Zoning

A number of Council owned properties will be rezoned from RE1 Public Recreation or SP2 Infrastructure to other appropriate zones to allow for the potential future sale of the land. See figures 1 to 44.

Part 1 - Objectives

The planning proposal has a number of objectives, which relate to reclassification and/or rezoning of Council owned land within the LLEP 2008. This LEP amendment considers Council initiated changes at both Councillor and staff levels. Details of each of the changes are in Part 2 of the planning proposal.

Part 2 - Explanation of provisions

Amendment applies to:	Explanation of provision
Land Use Zoning • LZN 008 • LSZ 008 • FSR 008 • HOB 008 • DWD 008	Rezoning of Lot 2 DP 1141036 – 15 Qantas Boulevard, Middleton Grange from SP2 Infrastructure Drainage to R1 General Residential with updated floor space ratio, minimum lot size, maximum building height and dwelling density maps.
Land Use Zoning • LZN 010 • LSZ 010 • FSR 010 • HOB 010	Rezoning of Part Lot 6 DP 1050036 – 99-101 Rose Street, Liverpool (Schedule 4 Part 2) from RE1 Public Recreation to B2 Local Centre with updated floor space ratio, minimum lot size and maximum building height maps.
Schedule 4 Reclassification of land Land use zoning • LZN 013 • LSZ 013 • FSR 013 • HOB 013 • RPL 013	Reclassification of Lot 151 DP 717423 – Part of ‘Thawaral Park’ 9 Gunsynd Avenue, Casula (Schedule 4 Part 2) from community land to operational land and rezoning from RE1 Public Recreation to R3 Medium Density Residential with updated floor space ratio, minimum lot size and maximum building height maps.
Schedule 4 Reclassification of land Land use zoning • LZN 013 • LSZ 013 • FSR 013 • HOB 013	Reclassification of Part of Lot 1227 DP 788408 – Part of ‘Thawaral Park’ 10 Anjudy Close, Casula (Schedule 4 Part 2) from community land to operational land and rezoning from RE1 Public Recreation to R3 Medium Density Residential with updated floor space ratio, minimum lot size and maximum building height maps.
Schedule 4 Reclassification of land Land use zoning • LZN 013 • LSZ 013 • FSR 013 • HOB 013	Reclassification of Lot 1103 DP 1051233 – ‘Mimosa Park’ 22 Box Road, Casula (Schedule 4 Part 2) from community land to operational land and rezoning from RE1 Public Recreation to R2 Low Density Residential with updated floor space ratio, minimum lot size and maximum building height maps.

Amendment applies to:	Explanation of provision
Schedule 4 Reclassification of land Land use zoning • LZN 010 • LSZ 010 • FSR 010 • HOB 010	Reclassification of Lot 145-146 DP 213510 – ‘Hannan Park’ 12A Brain Avenue, Lurnea (Schedule 4 Part 2) from community land to operational land and rezoning from RE1 Public Recreation to R2 Low Density Residential with updated floor space ratio, minimum lot size and maximum building height maps.
Schedule 4 Reclassification of land Land use zoning • LZN 013 • LSZ 013 • FSR 013 • HOB 013	Reclassification of Lot 183 DP 241158 – ‘Hazel Bradshaw Park’ 2A Deerwood Avenue, Liverpool (Schedule 4 Part 2) from community land to operational land and rezoning from RE1 Public Recreation to R2 Low Density Residential with updated floor space ratio, minimum lot size and maximum building height maps.
Schedule 4 Reclassification of land Land use zoning • LZN 013 • LSZ 013 • FSR 013 • HOB 013	Reclassification of Lot 25 DP 244956 and Lot 118 DP 244942 – ‘Acacia Park’ 72A Grevillea Crescent, Prestons (Schedule 4 Part 2) from community land to operational land and rezoning from RE1 Public Recreation to R2 Low Density Residential with updated floor space ratio, minimum lot size and maximum building height maps.
Schedule 4 Reclassification of land Land use zoning • LZN 014 • LSZ 014 • RPL 014	Reclassification of Lot 56 DP 567062 and Part Lot 42 DP 237025 – Part of ‘Regan Park’ 230 Newbridge Road, Moorebank (Schedule 4 Part 2) from community land to operational land and rezoning from R3 Medium Density Residential to B6 Enterprise Corridor with updated minimum lot size map.
Schedule 4 Reclassification of land	Reclassification of Lot 106 DP 515081 – ‘McCarthy Park’ 124A Wonga Road, Lurnea (Schedule 4 Part 2) from community land to operational land.
Schedule 4 Reclassification of land	Reclassification of Lot 515 DP 242589 – ‘St Andrews Park’ 84A St Andrews Boulevard, Casula (Schedule 4 Part 2) from community land to operational land.
Schedule 4 Reclassification of land	Reclassification of Lot 3 DP 227788 – ‘Ferrington Park’ 8 Ferrington Crescent, Liverpool (Schedule 4 Part 2) from community land to operational land.
Schedule 4 Reclassification of land	Reclassification of Lot 45 DP 220478 and Lot 113 DP 258556 – ‘Baker Park’ 20A Frazer Avenue, Lurnea (Schedule 4 Part 2) from community land to operational

Amendment applies to:	Explanation of provision
	land.
Schedule 4 Reclassification of land	Reclassification of Lot 18 DP 261574 – ‘Wendlebury Park’ 26 Wendlebury Road, Chipping Norton (Schedule 4 Part 2) from community land to operational land.

Part 3 - Justification

A. Need for the planning proposal

1. Is the planning proposal a result of any strategic study or report?

The planning proposal is not the result of any strategic study or report. Most of the amendments included in this proposal have been identified by Council staff and are considered minor in nature. A brief description of the origin of each amendment is provided.

Rezoning of Council owned land:

The land located at 15 Qantas Boulevard, Middleton Grange and Part of 99-101 Rose Street, Liverpool are considered surplus land. Land proposed to be rezoned at 15 Qantas Boulevard is no longer required for drainage as flood waters are able to be contained in the remaining basin area that makes up Stante Reserve. Part of Lot 99 – 101 Rose Street Liverpool has been identified as suitable land to be rezoned to extend the adjoining B2 Local Centre land located on Hoxton Park Road. As both are already classified as Operational Land, only a rezoning is required to allow the land to be sold.

Reclassification of Council owned land:

There are five parcels of land included within the draft amendment that are proposed to be reclassified from community land to operational land with no rezoning required. These lots include 124A Wonga Road Lurnea, 84A St Andrews Boulevard Casula, 8 Ferrington Crescent Liverpool, 20A Frazer Avenue Lurnea and 26 Wendlebury Road Chipping Norton. These lots have been identified as land surplus to Council's needs. The vested interests will be changing for all five properties therefore they will be placed in Schedule 4 Part 2 of the LLEP 2008.

Reclassification and rezoning of Council owned land:

The proposal includes the reclassification and rezoning of seven properties. These properties include 9 Gunsynd Avenue Casula, 10 Anjudy Close Casula, 22 Box Road Casula, 12A Brain Avenue Lurnea, 2A Deerwood Avenue Liverpool, 72A Grevillea Crescent Prestons and 230 Newbridge Road Moorebank. These properties have been identified as land surplus to Council's needs with the exception of 230 Newbridge Road Moorebank which part of the land is proposed to be reclassified and rezoned to B6 Enterprise Corridor so that it can be sold to the adjoining B6 Enterprise Corridor zoned land at 228 Newbridge Road Moorebank. The vested interests will be changing for the reclassifications; these reclassifications will be placed in Schedule 4 Part 2 – Land classified, or reclassified as operational land – interests changed of the LLEP 2008. The reclassifications are consistent with Council's Property Management Strategy, the 2010-2011

2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Council considers that a procedural amendment to LLEP 2008 to be the most appropriate way of achieving this outcome.

3. Will the net community benefit outweigh the cost of implementing and administering the planning proposal?

The proposal will make available funds that will be able to be placed into the improvement of other Council facilities and open space.

B. Relationship to strategic planning framework

4. *Is the planning proposal consistent with the objectives and actions contained within the applicable regional or sub-regional strategy (including the Sydney Metropolitan Strategy and exhibited draft strategies)?*

Metropolitan Plan for Sydney 2036

The planning proposal is consistent with the Sydney Metropolitan Strategy. In particular *objective D1 to ensure an adequate supply of land and sites for residential development*, through the creation of additional housing in locations currently considered to be surplus land.

Draft Metropolitan Strategy for Sydney to 2031

The planning proposal is generally consistent with the Draft Metropolitan Strategy for Sydney 2031. In particular *objective 5: Deliver new housing to meet Sydney's growth* with the contribution of additional infill housing within the subregion.

South West Draft Subregional Strategy

The Draft South West Subregional Strategy is the strategic land use planning framework to guide the sustainable growth of South West Sydney over the next 25 years.

It translates priorities of the Sydney Metropolitan Strategy to the local level. According to the Strategy, South West Sydney will experience growth in the vicinity of some 155,000 new dwellings over the next 19 years.

The planning proposal consists of a number of minor changes which are consistent with the objectives and actions contained within the draft Southwest Subregional Strategy. However more detailed analysis is provided for the more complex parts of the planning proposal.

5. *Is the planning proposal consistent with the local council's Community Strategic Plan, or other local strategic plan?*

Growing Liverpool 2023

Growing Liverpool 2023 is a 10-year plan that has been developed to refine the future strategic directions for Liverpool and its future growth. This planning proposal is consistent with this strategy. Directions *1.3 Assist existing businesses to grow, innovate and become more competitive*, *2.2 Create clean and attractive public places for people to engage and connect* and *7.3 Provide business excellence and financial sustainability to deliver services that meet community expectations*, are particularly relevant to this planning proposal as Council aims to help local business, improve the amenity of widely used parks and open space and to ensure that Council is financially sustainable to be able to deliver the services and improvements that residents would expect.

6. *Is the planning proposal consistent with the applicable state environmental planning policies?*

The planning proposal consists of minor amendments to the LLEP 2008 and is consistent with the various State Environmental Planning Policies.

7. Is the planning proposal consistent with applicable Ministerial Directions (s.117 directions)?

Various Section 117 Ministerial Directions apply to this planning proposal. These are discussed below:

S.117 Direction No. and Title	Contents of S.117 Direction	Planning Proposal	Comply
1.1 Business and Industrial Zones	To encourage employment growth in suitable locations, protect employment lands and to support the viability of identified strategic centres.	The planning proposal proposes to alter exiting business zone boundaries. This involves a small increase of B2 and B6 land which should not have a major impact of any existing centres.	Yes
3.1 Residential Zone	To provide for a variety of housing types to meet existing and future housing needs that make use of and have access to existing infrastructure and services. Minimise the impact of development on the environment and resource lands.	Rezoning's and reclassifications will affect land within exiting residential zones that are already serviced by existing infrastructure. Proposed reclassification lots do not contain environmentally sensitive land.	Yes
4.3 Flood Prone Land	This direction aims to ensure that LEPs consider potential flood impacts.	<i>Reclassification of Baker Park 20A Frazer Avenue, Lurnea</i> This park is affected by the PMF flood levels. These levels do not place restrictions on normal residential developments. Some restrictions may apply to sensitive use developments; the permissibility would be assessed at a development assessment stage. <i>Rezoning Part of Lot 6 DP 1050036 99-101 Rose Street, Liverpool (fronting Hoxton park Road)</i> Affected by 1% AEP flood levels. If the land was to be sold the land would need to be filled to a PMF level to allow for development. These flood impacts would need to be assessed before the sale and development of the land could occur.	Yes Yes
5.1 – Implementation of Regional Strategies	The objective of this direction is to give legal effect to the vision, land use strategy, policies, outcomes and actions contained in regional strategies. This direction requires that the rezoning proposal be consistent with the South West Subregional Strategy.	The Planning Proposal is in line with the relevant Regional Strategies.	Yes
6.2 – Reserving Land for Public Purposes	The aim of this objective is to facilitate the removal of reservations of land for public purposes where the land is no longer required for acquisition.	<i>Reclassification of Public Land</i> Council is seeking reclassification of certain properties. This would be undertaken via this planning proposal. It is considered that the	Yes

S.117 Direction No. and Title	Contents of S.117 Direction	Planning Proposal	Comply
		proposal is consistent with the Ministerial Direction.	
7.1 Metropolitan Planning	Planning proposals shall be consistent with the NSW Government's Metropolitan Plan for Sydney 2036 published in December 2010.	The planning proposal achieves the overall intent of the Plan and does not undermine the achievement of its vision, land use strategy, policies, outcomes or actions.	Yes

C. Environmental, social and economic impact

8. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

It is anticipated that the planning proposal will not have an impact on critical habitat, threatened species, populations or ecological communities or their habitats.

9. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

The planning proposal will not result in any negative environmental effects as the affected properties do not have environmental significance and will not result in environmental impacts.

10. How has the planning proposal adequately addressed any social and economic effects?

The economic impacts of this planning proposal are generally minimal. However the following social impacts warrant additional consideration.

Reclassification of council owned land

The properties proposed for reclassification will result in minimal social impacts. The sites have been identified as underutilised and their disposal is consistent with Council's strategic plan, which will provide opportunities for investment in other community and open spaces. All sites are within a reasonable walking distance to other areas of open space with the exception of Regan Park (230 Newbridge Road Moorebank). Only part of Regan Park is proposed to be reclassified, rezoned and sold.

D. State and Commonwealth interests

11. Is there adequate public infrastructure for the planning proposal?

The planning proposal does not result in extensive additional development. As such the planning proposal will not place additional demands on public infrastructure.

12. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?

Once a Gateway Determination is made it will stipulate which authorities will need to be consulted for this amendment.

Part 4 - Maps

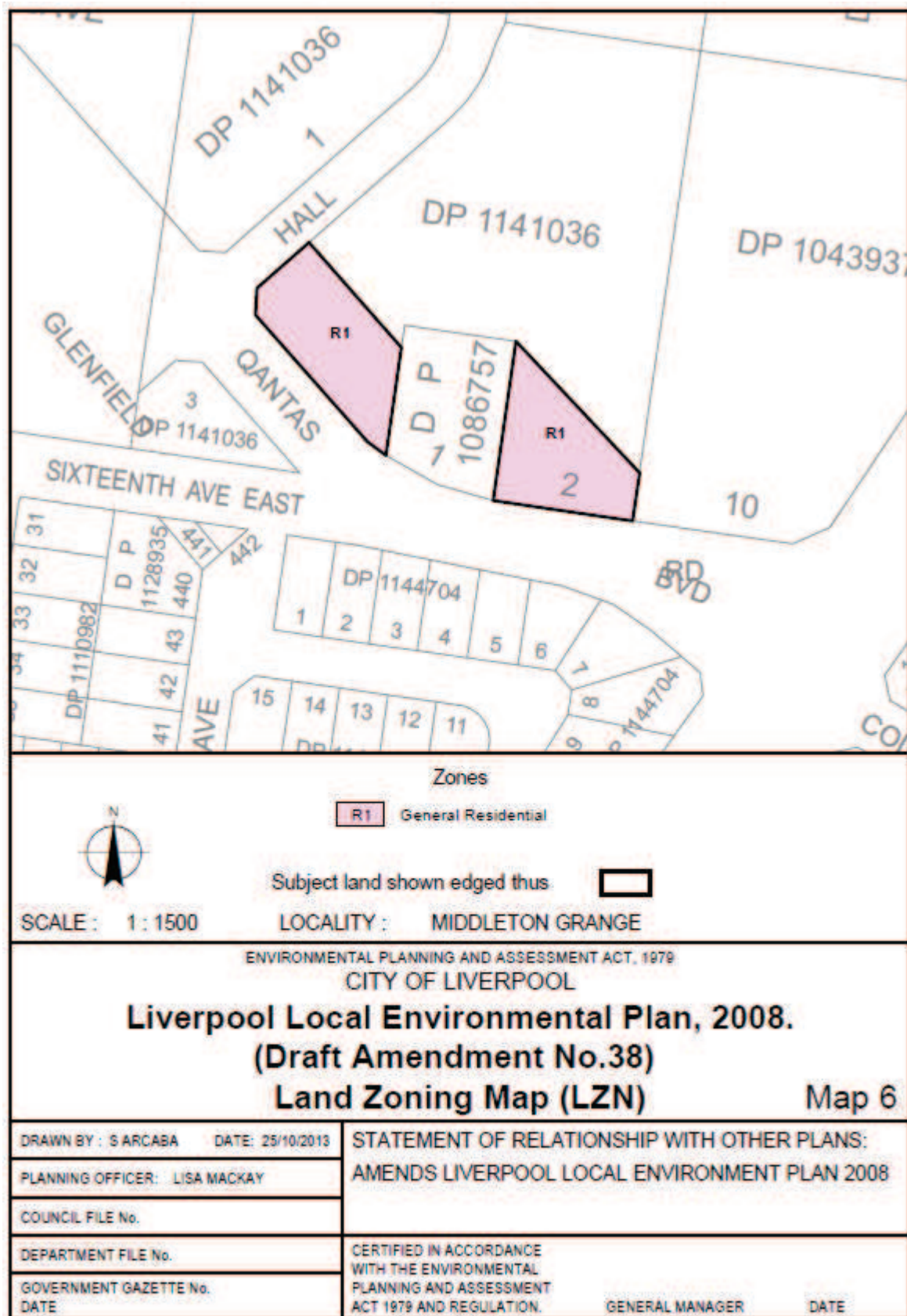


Figure 1 – Proposed land zoning changes to Lot 2 DP 1141036 - 15 Qantas Boulevard, Middleton Grange



Figure 2 – Proposed floor space ratio changes to Lot 2 DP 1141036 - 15 Qantas Boulevard, Middleton Grange

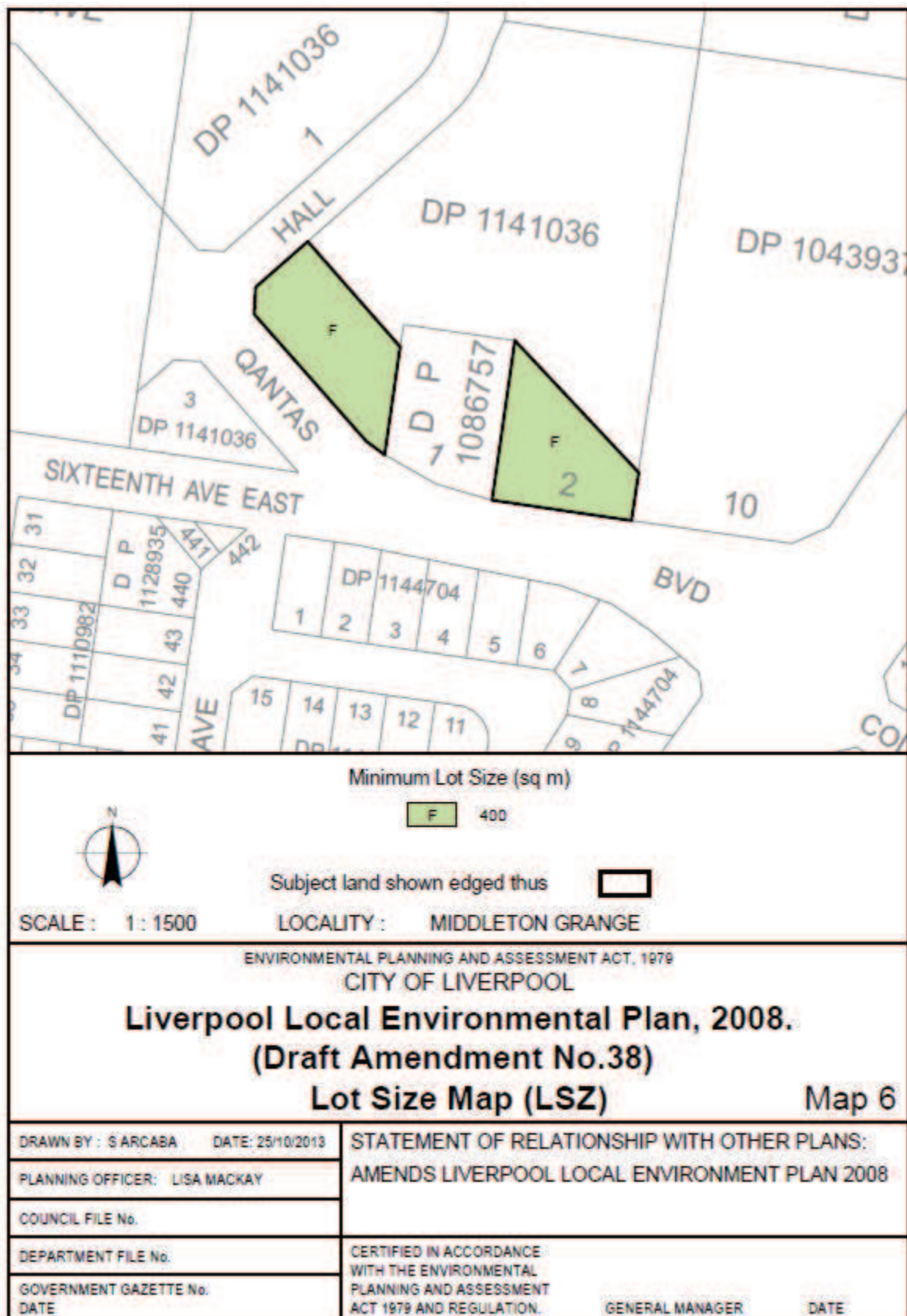


Figure 3 – Proposed lot size changes to Lot 2 DP 1141036 - 15 Qantas Boulevard, Middleton Grange

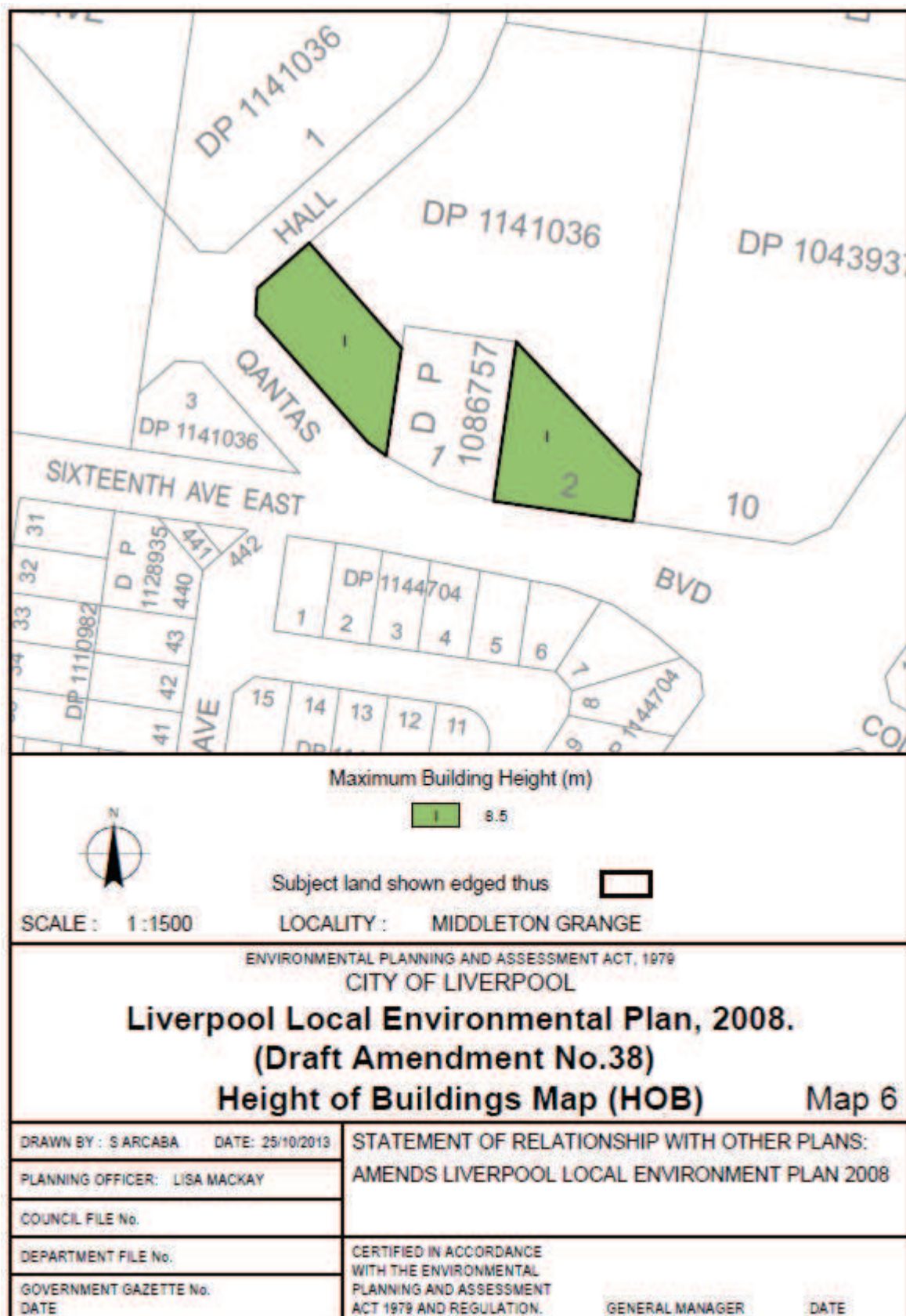


Figure 4 – Proposed height of building changes to Lot 2 DP 1141036 - 15 Qantas Boulevard, Middleton Grange

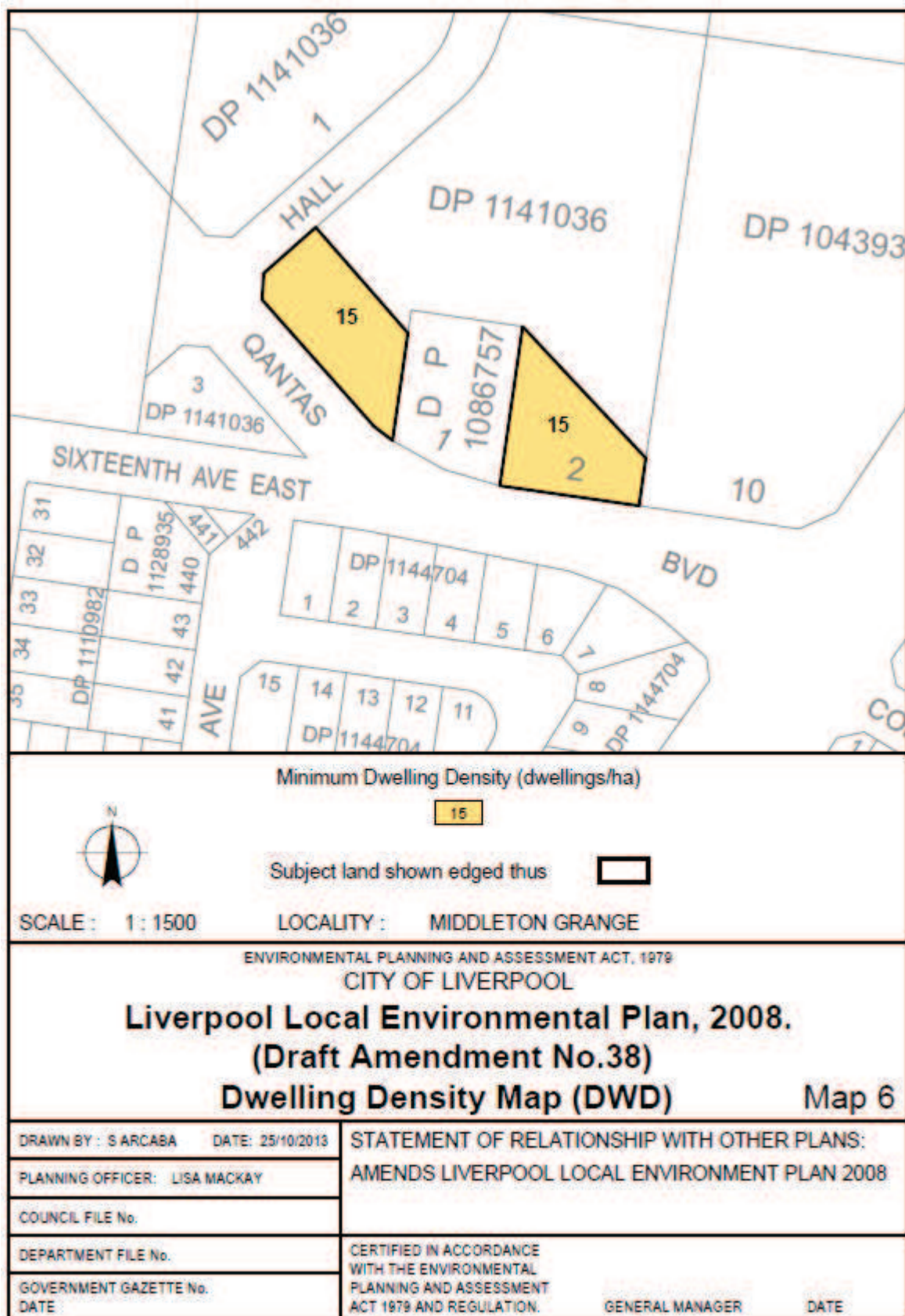


Figure 5 – Proposed dwelling density changes to Lot 2 DP 1141036 - 15 Qantas Boulevard, Middleton Grange

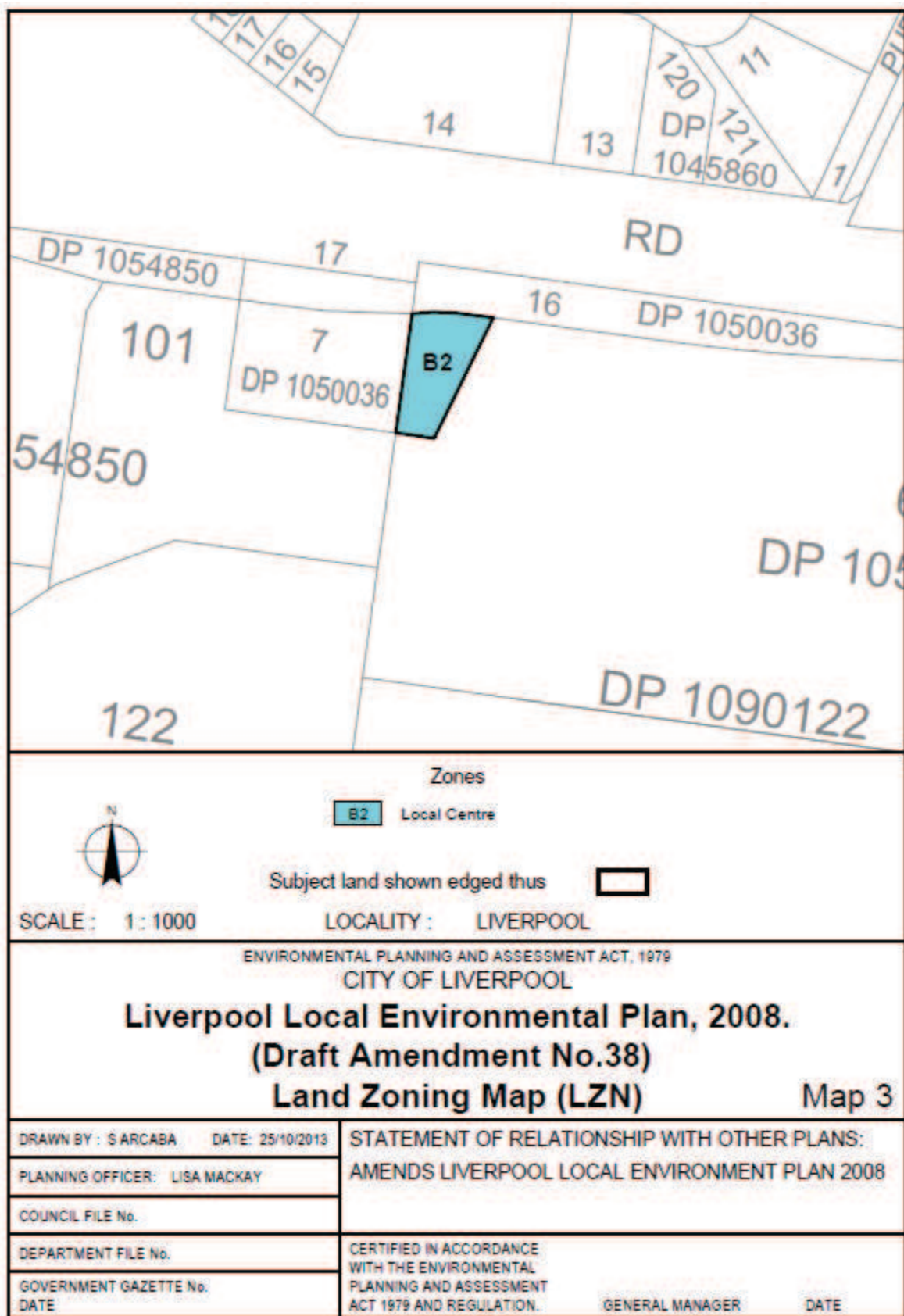


Figure 6 – Proposed land zoning changes to Lot 6 DP 1050036 - 99-101 Rose Street, Liverpool

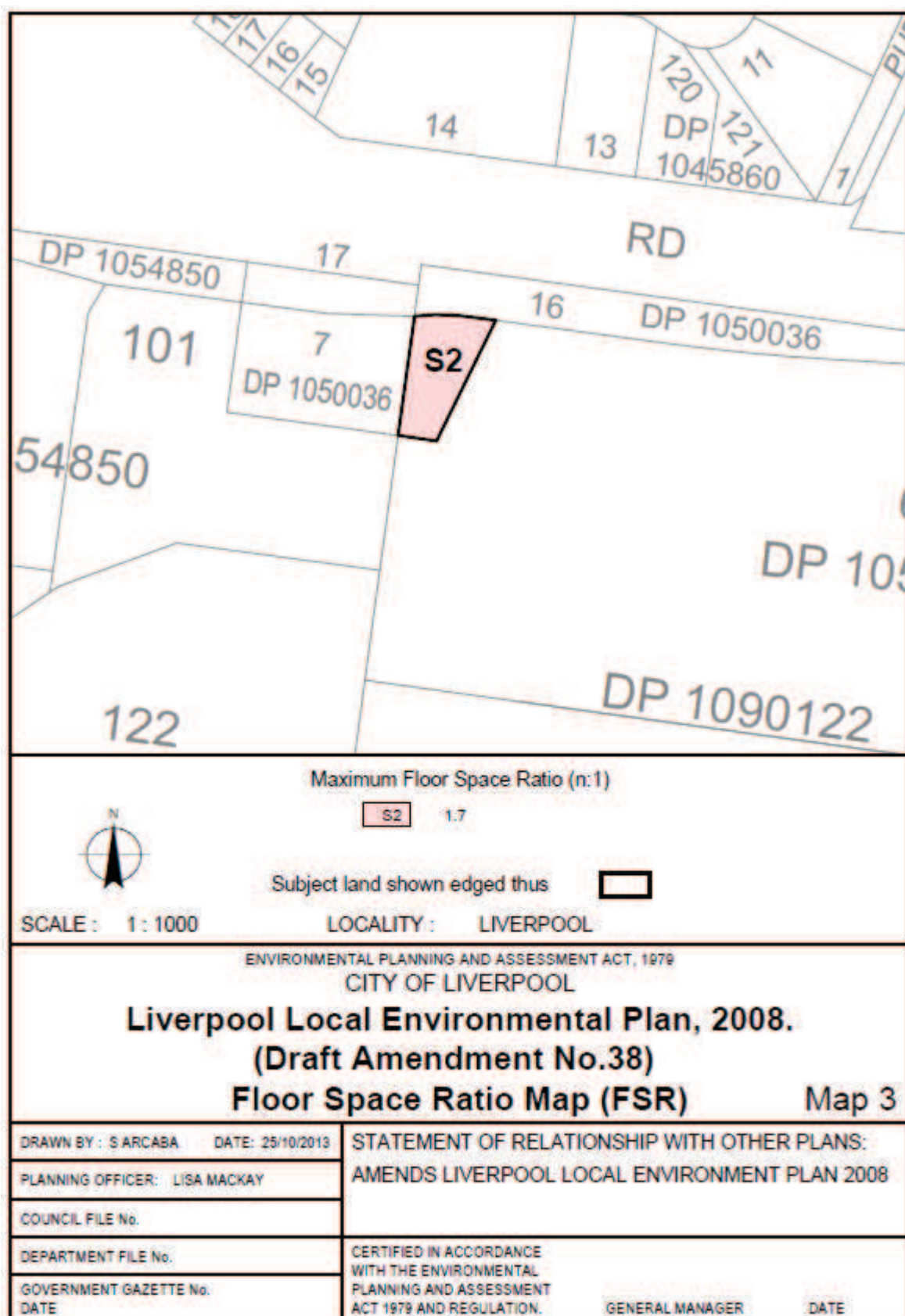


Figure 7 – Proposed floor space ratio changes to Lot 6 DP 1050036 - 99-101 Rose Street, Liverpool

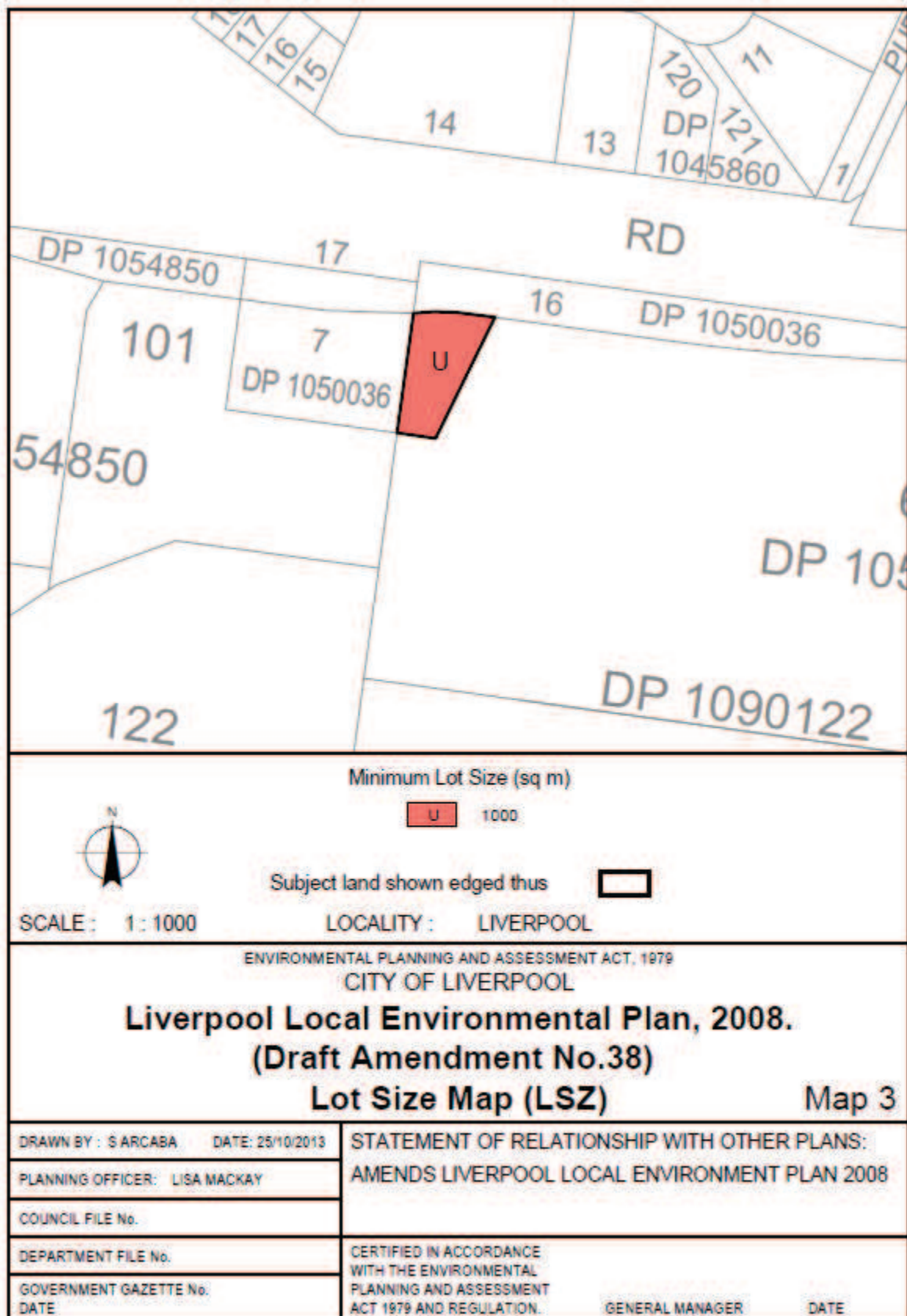


Figure 8 – Proposed lot size changes to Lot 6 DP 1050036 - 99-101 Rose Street, Liverpool

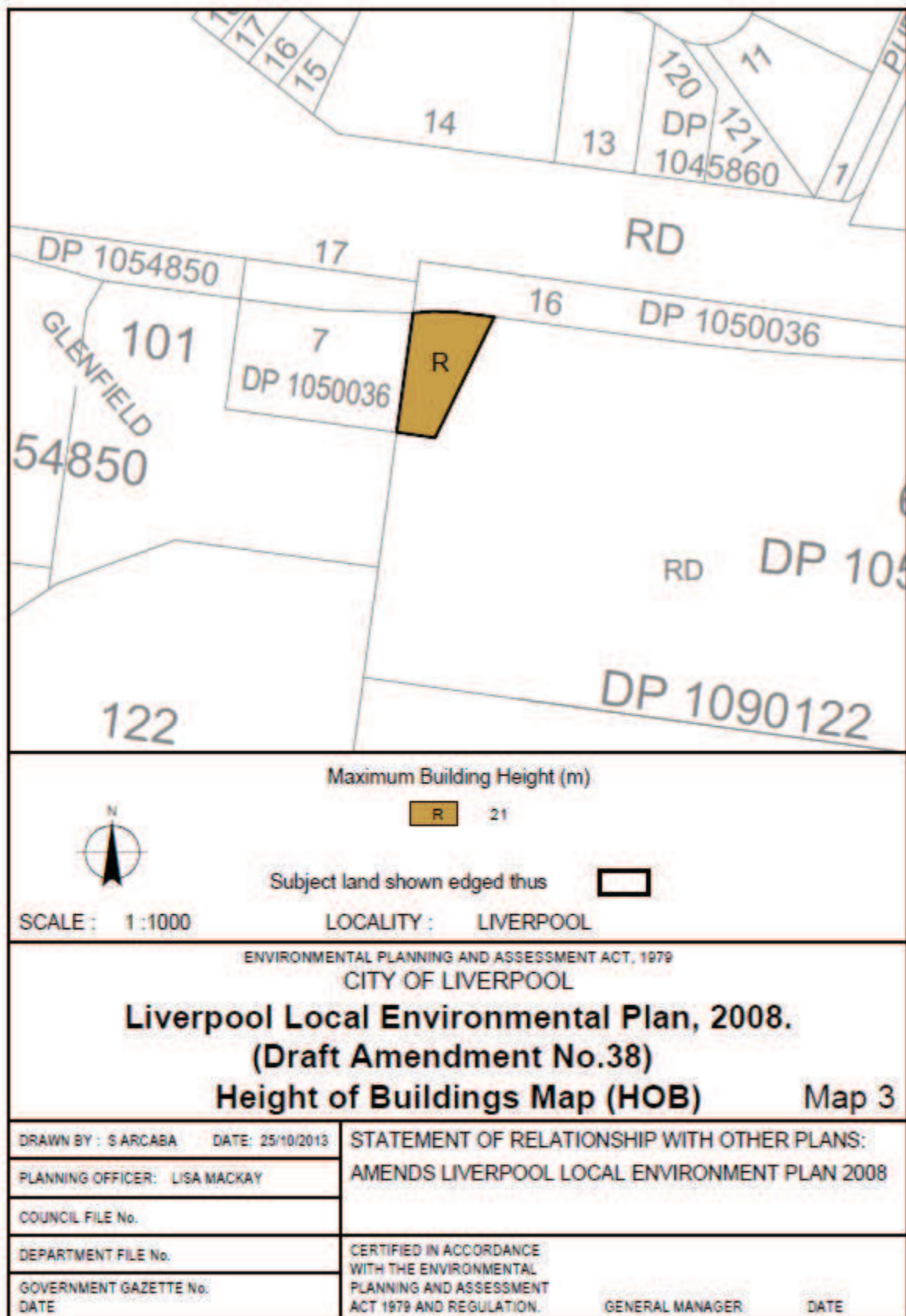


Figure 9 – Proposed height of building changes to Lot 6 DP 1050036 - 99-101 Rose Street, Liverpool

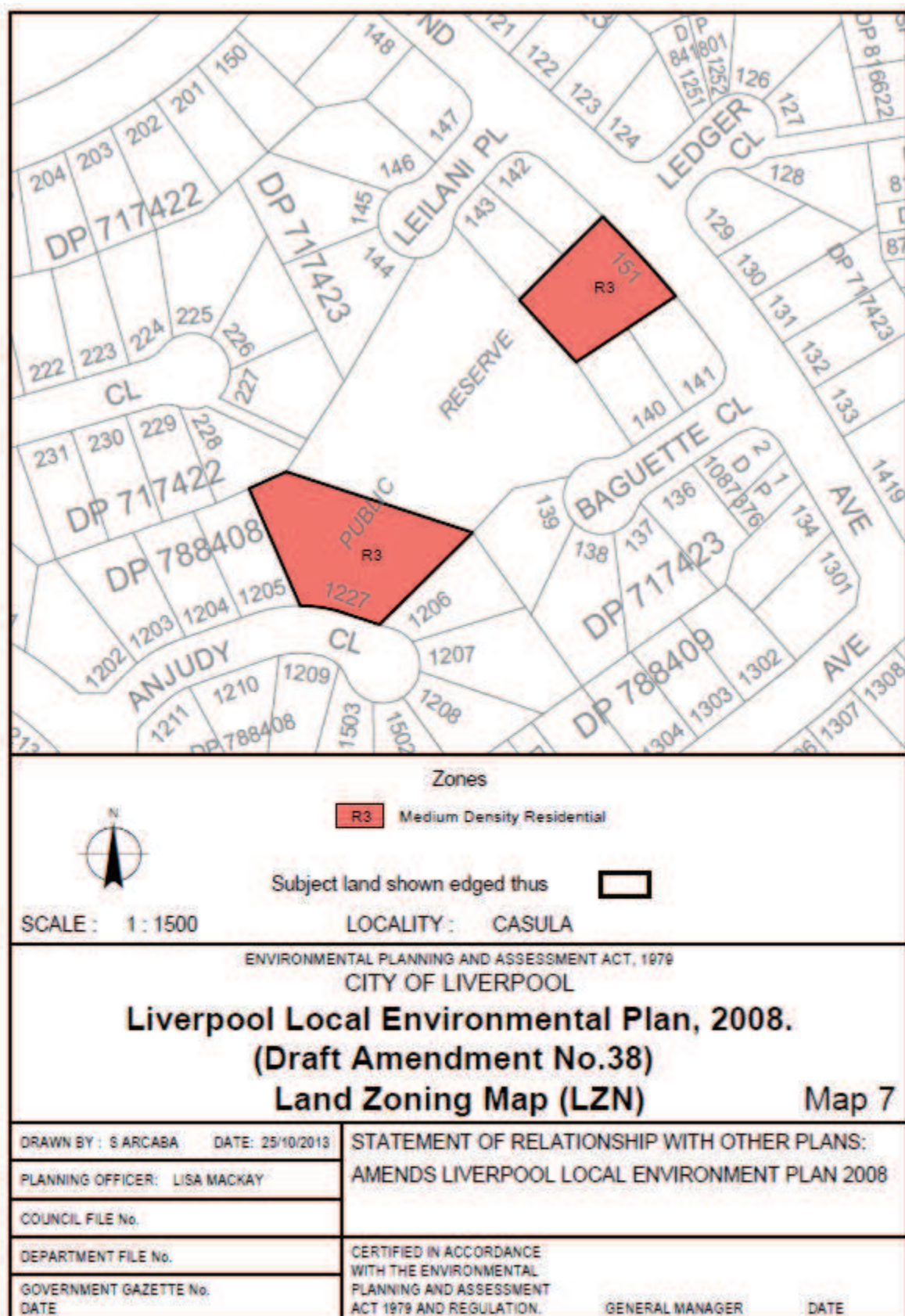


Figure 10 – Proposed land zoning changes to Lot 51 DP 717423 - 9 Gunsynd Avenue, Casula and Part of Lot 1227 DP 788408 - 10 Anjudy Close, Casula

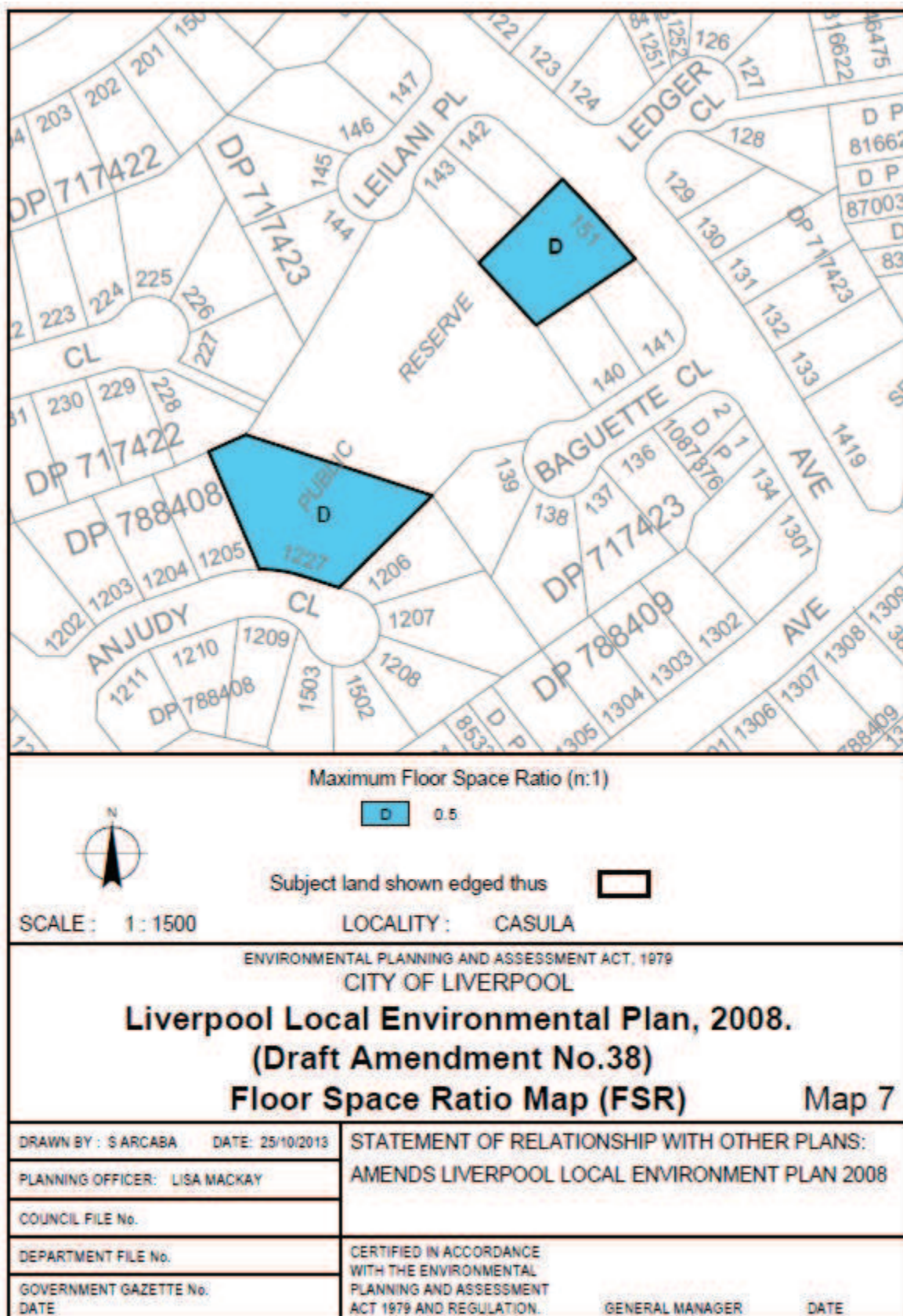


Figure 11 – Proposed floor space ratio changes to Lot 51 DP 717423 - 9 Gunsynd Avenue, Casula and Part of Lot 1227 DP 788408 - 10 Anjudy Close, Casula

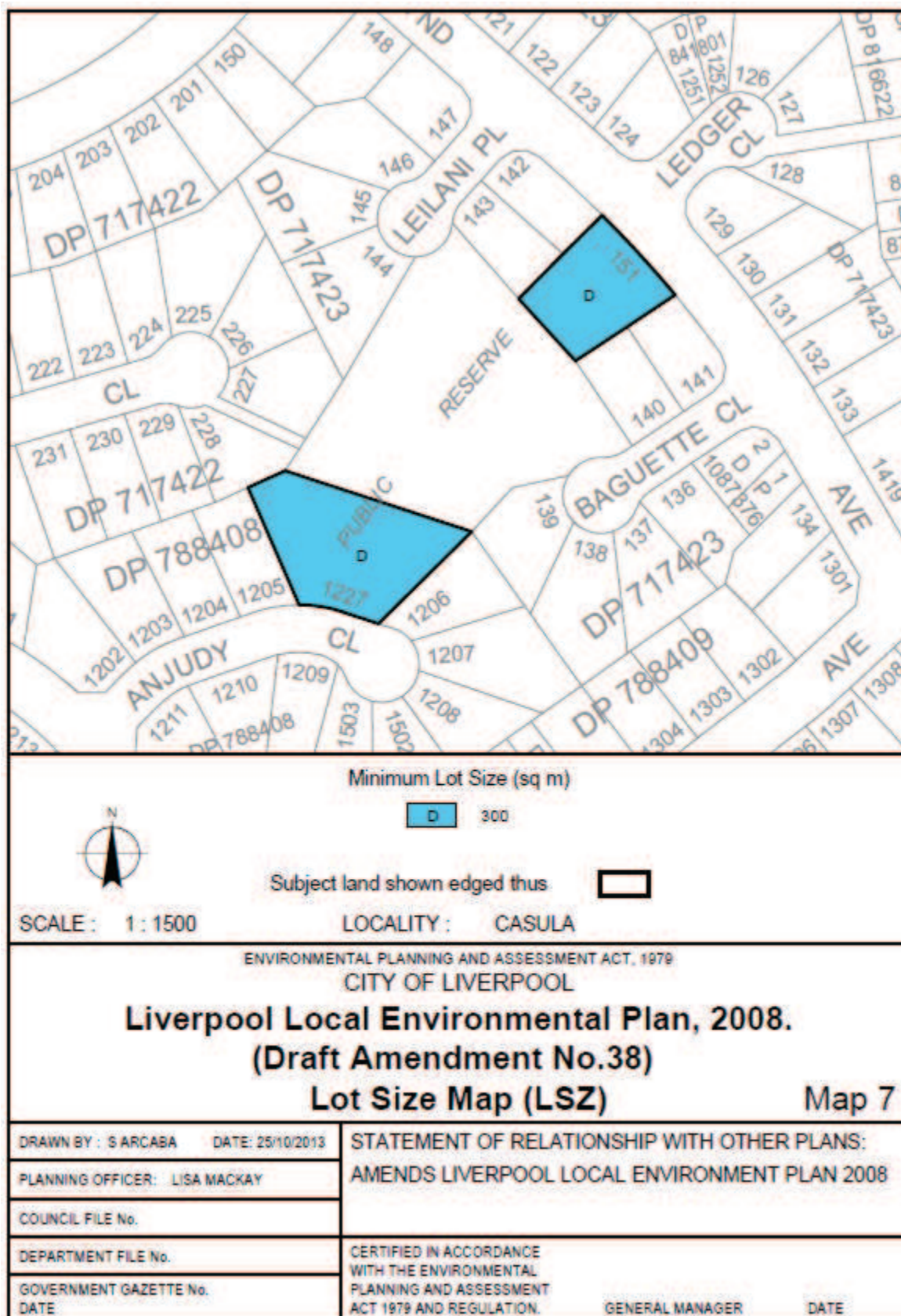


Figure 12 – Proposed lot size changes to Lot 51 DP 717423 - 9 Gunsynd Avenue, Casula and Part of Lot 1227 DP 788408 - 10 Anjudy Close, Casula

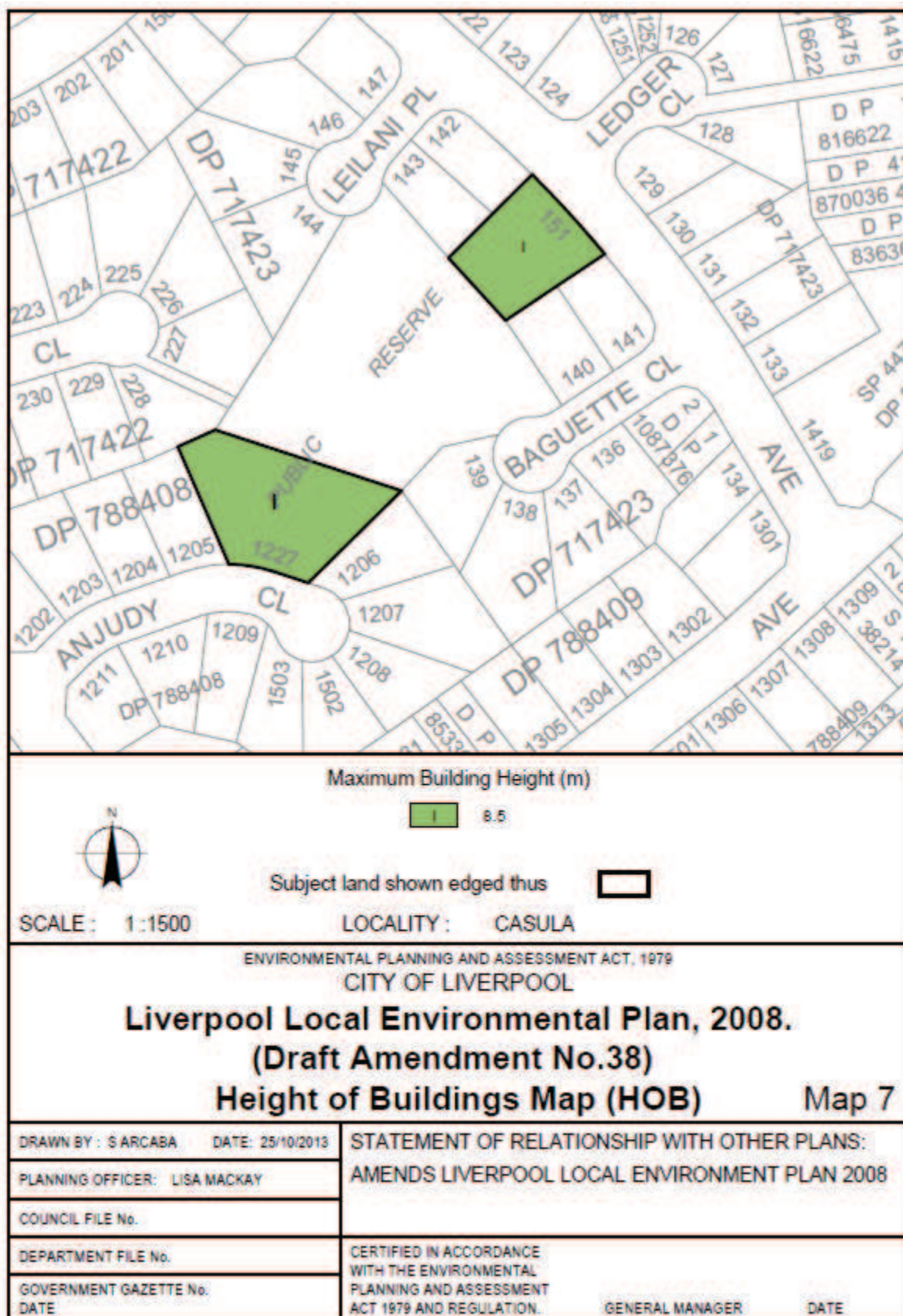


Figure 13 – Proposed height of building changes to Lot 51 DP 717423 - 9 Gunsynd Avenue, Casula and Part of Lot 1227 DP 788408 - 10 Anjudy Close, Casula

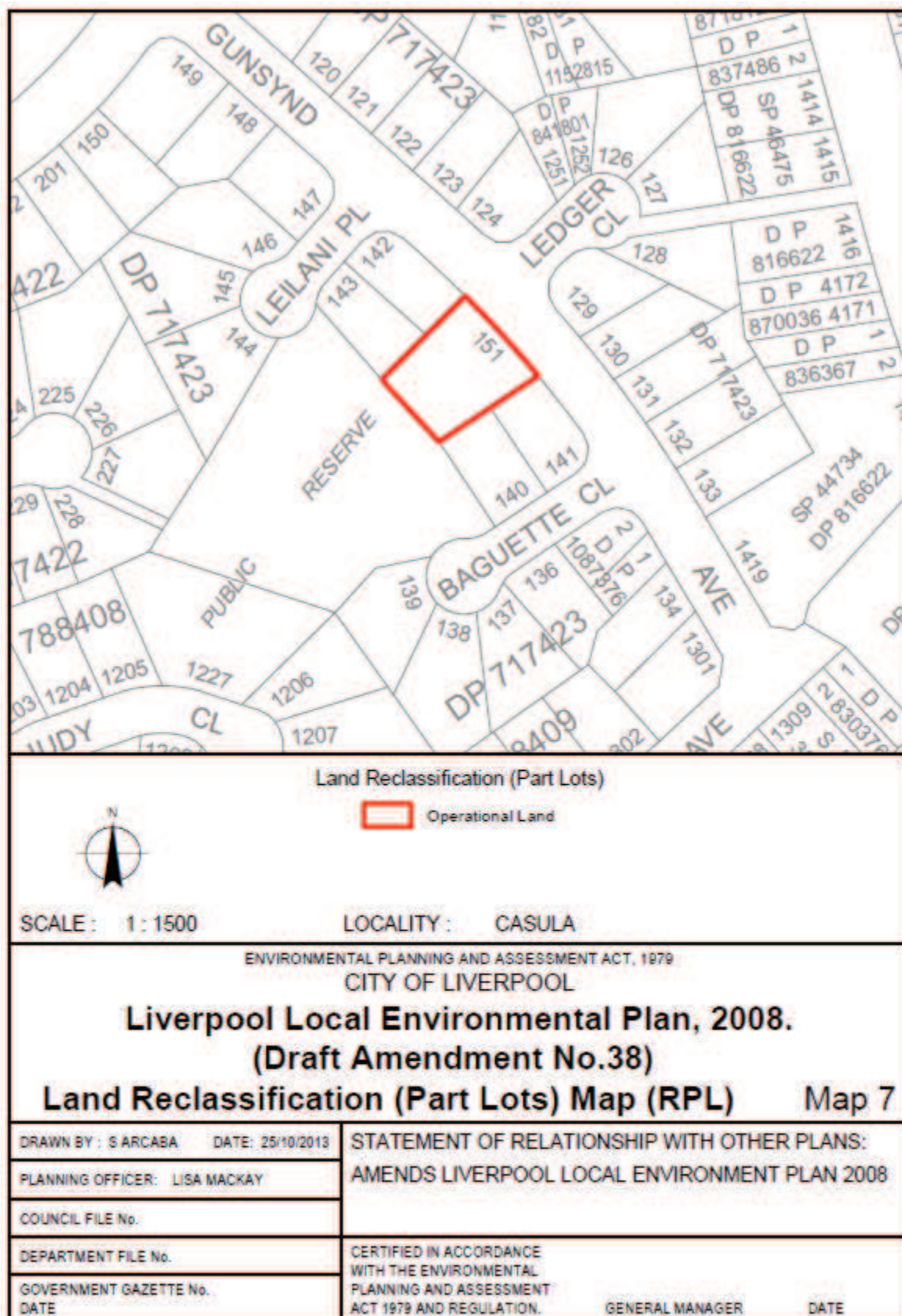


Figure 14 – Proposed land reclassification (part lots) changes to Lot 51 DP 717423 - 9 Gunsynd Avenue, Casula

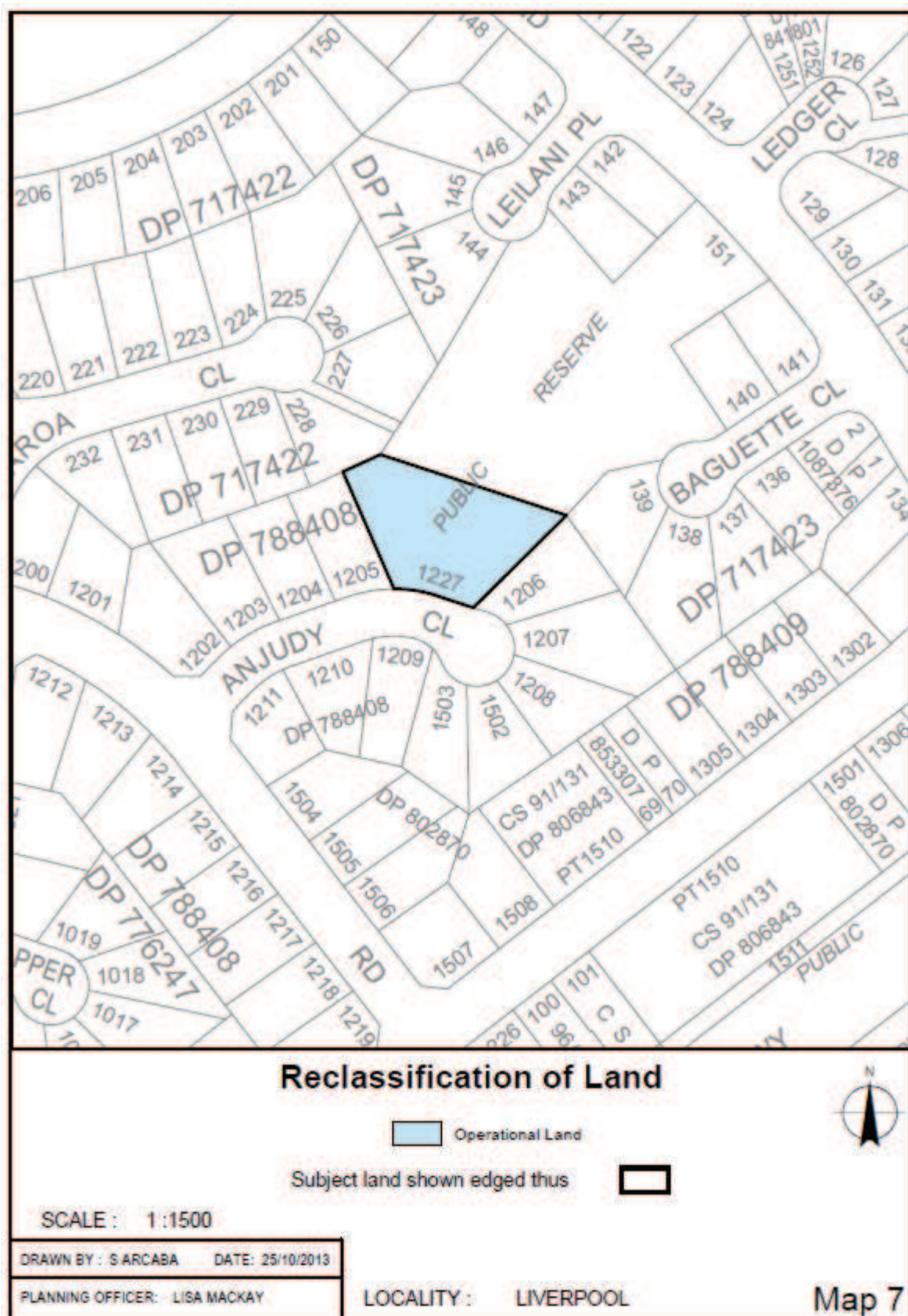


Figure 15 – Proposed land reclassification changes to Part of Lot 1227 DP 788408 - 10 Anjudy Close, Casula



Figure 16 – Proposed land zoning changes to Lot 1103 DP 1051233 - 22 Box Road, Casula

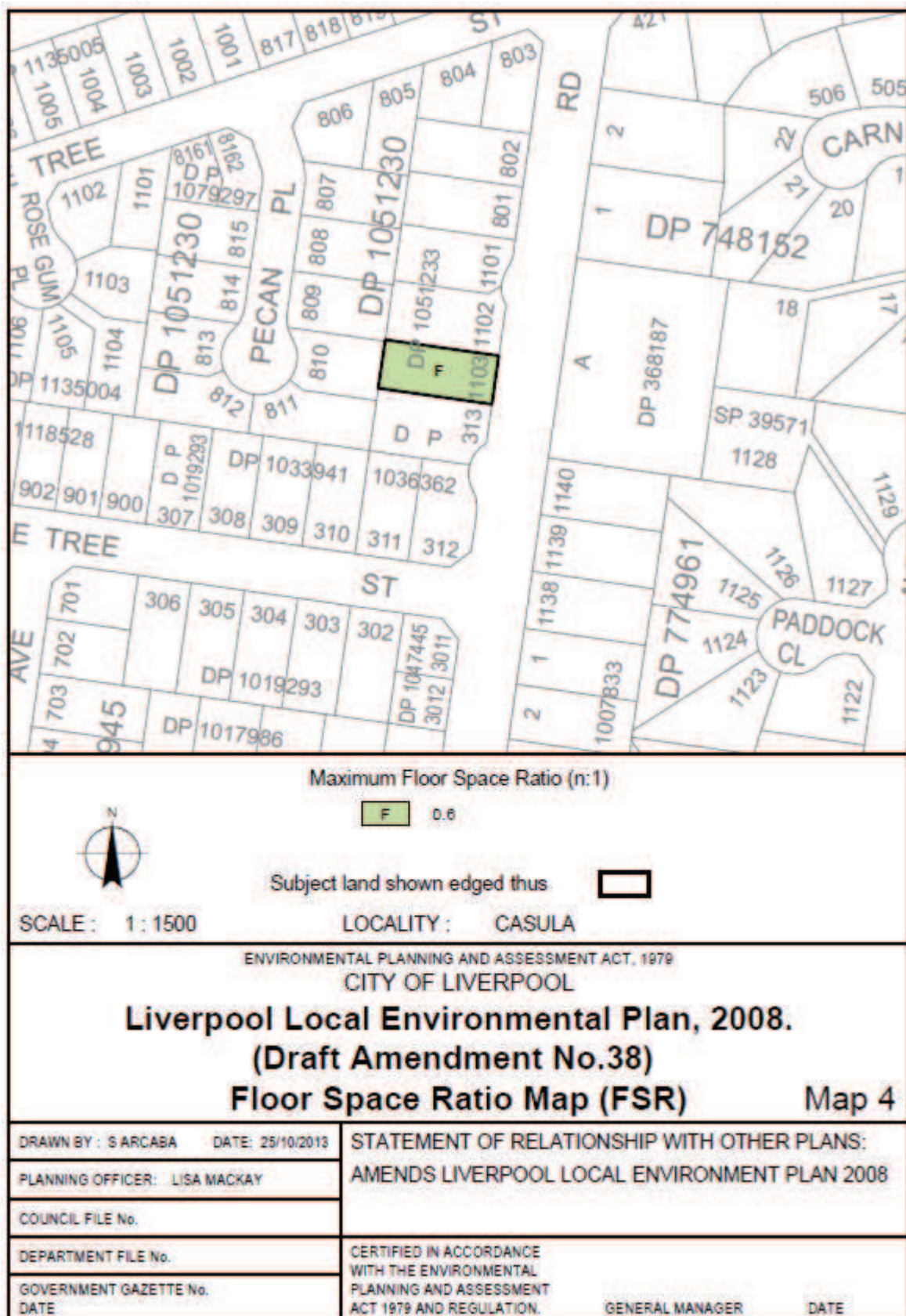


Figure 17 – Proposed floor space ratio changes to Lot 1103 DP 1051233 - 22 Box Road, Casula



Figure 18 – Proposed lot size changes to Lot 1103 DP 1051233 - 22 Box Road, Casula



Figure 19 – Proposed height of building changes to Lot 1103 DP 1051233 - 22 Box Road, Casula

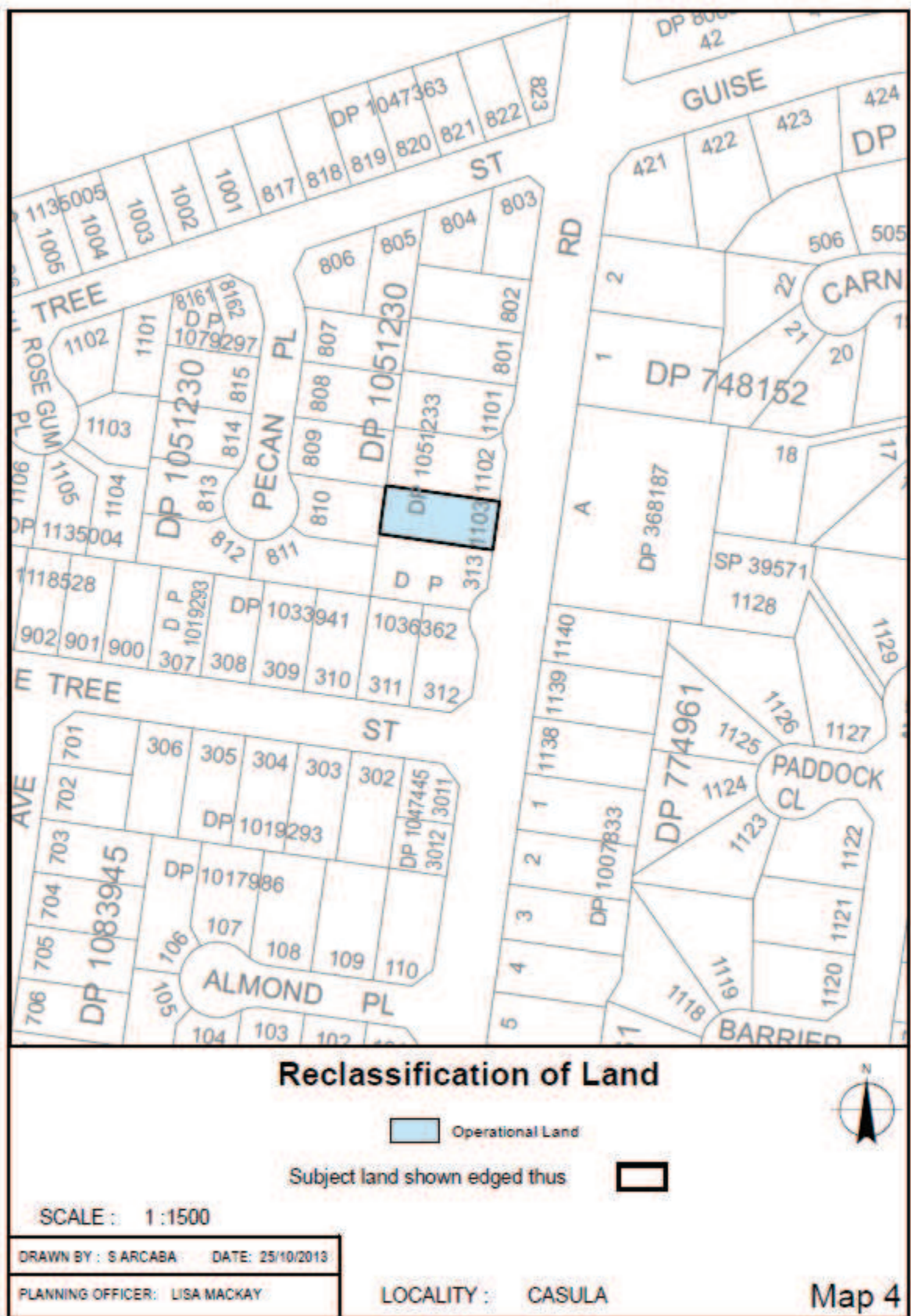


Figure 20 – Proposed land reclassification changes to Lot 1103 DP 1051233 - 22 Box Road, Casula



Figure 21 – Proposed land zoning changes to Lot 145-146 DP 213510 - 12A Brain Avenue and 22 Ida Avenue, Lurnea



Figure 22 – Proposed floor space ratio changes to Lot 145-146 DP 213510 - 12A Brain Avenue and 22 Ida Avenue, Lurnea



Figure 23 – Proposed lot size changes to Lot 145-146 DP 213510 - 12A Brain Avenue and 22 Ida Avenue, Lurnea



Figure 24 – Proposed height of building changes Lot 145-146 DP 213510 - 12A Brain Avenue and 22 Ida Avenue, Lurnea

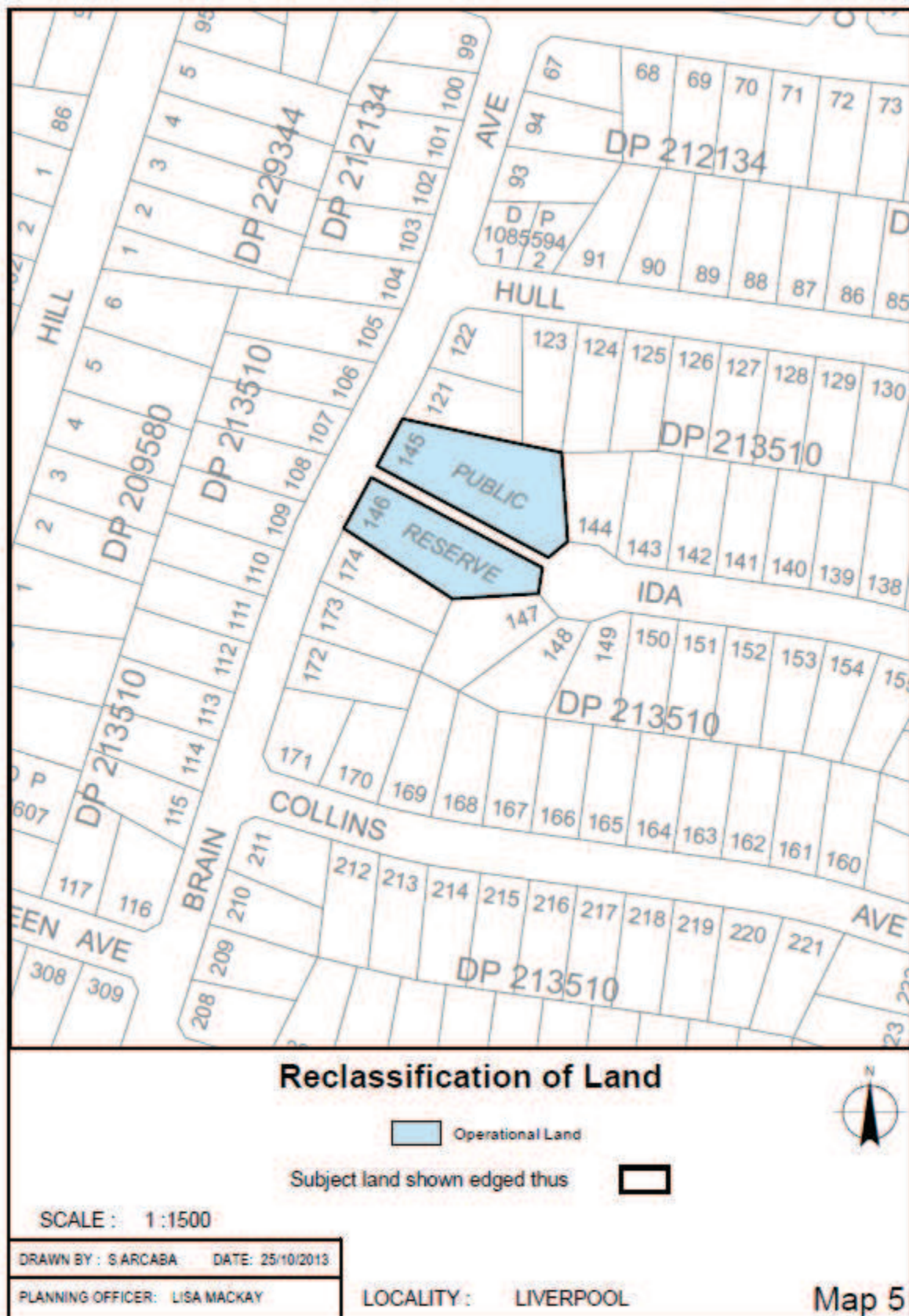


Figure 25 – Proposed land reclassification changes Lot 145-146 DP 213510 - 12A Brain Avenue and 22 Ida Avenue, Lurnea

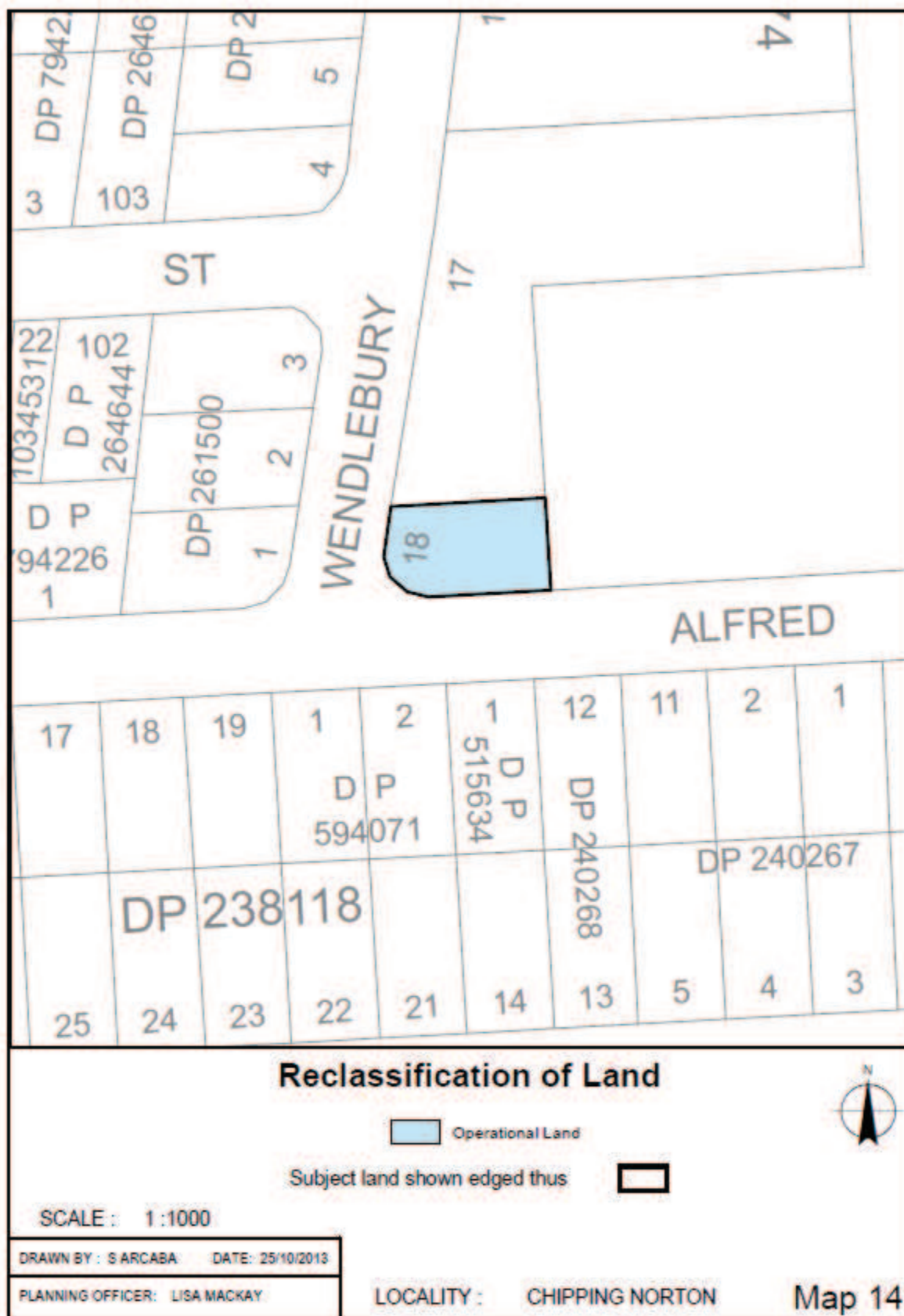


Figure 26 – Proposed land reclassification changes to Lot 18 DP 261574 - 26 Wendlebury Road, Chipping Norton

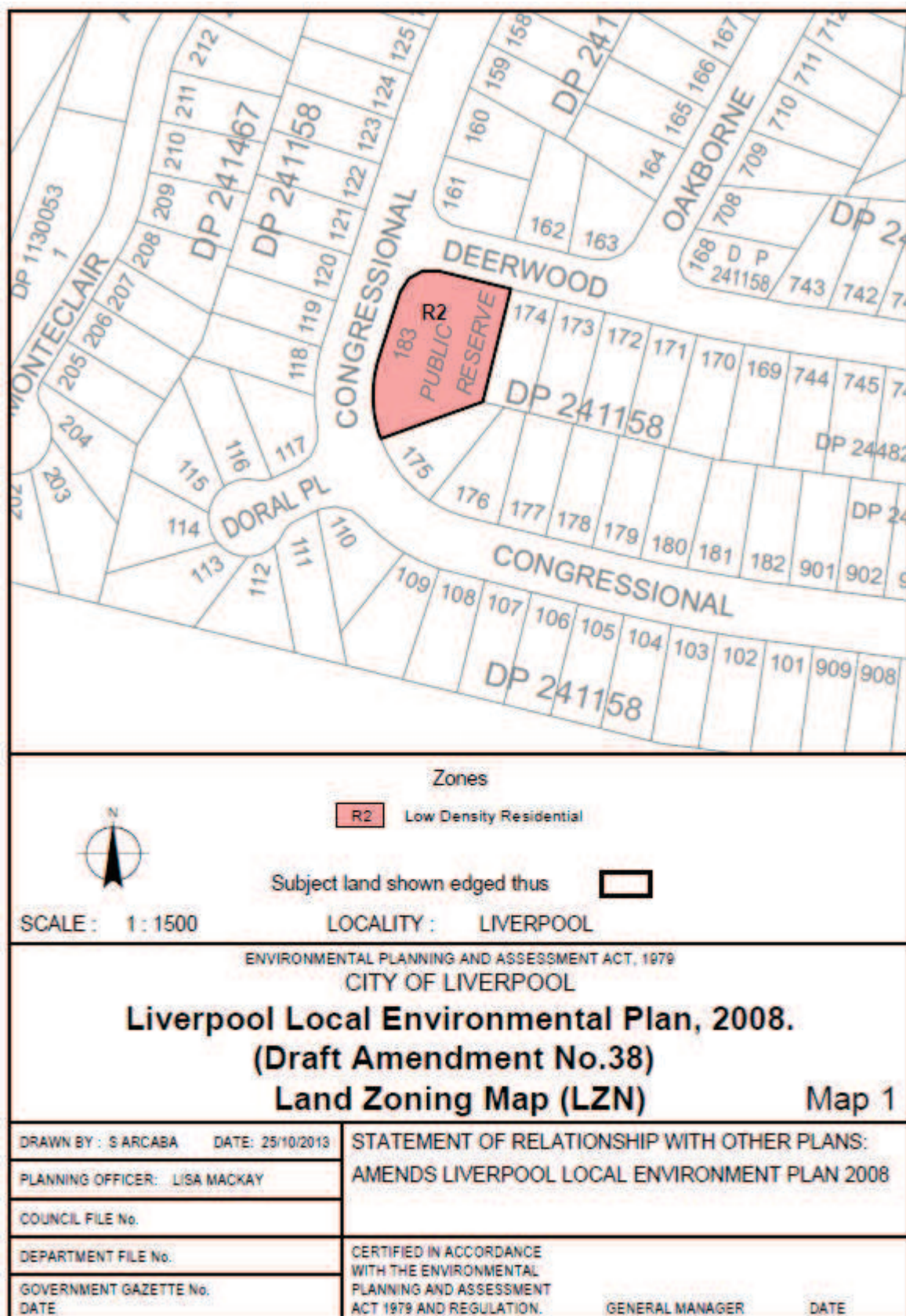


Figure 27 – Proposed land zoning changes to Lot 183 DP 241158 - 2A Deerwood Avenue, Liverpool

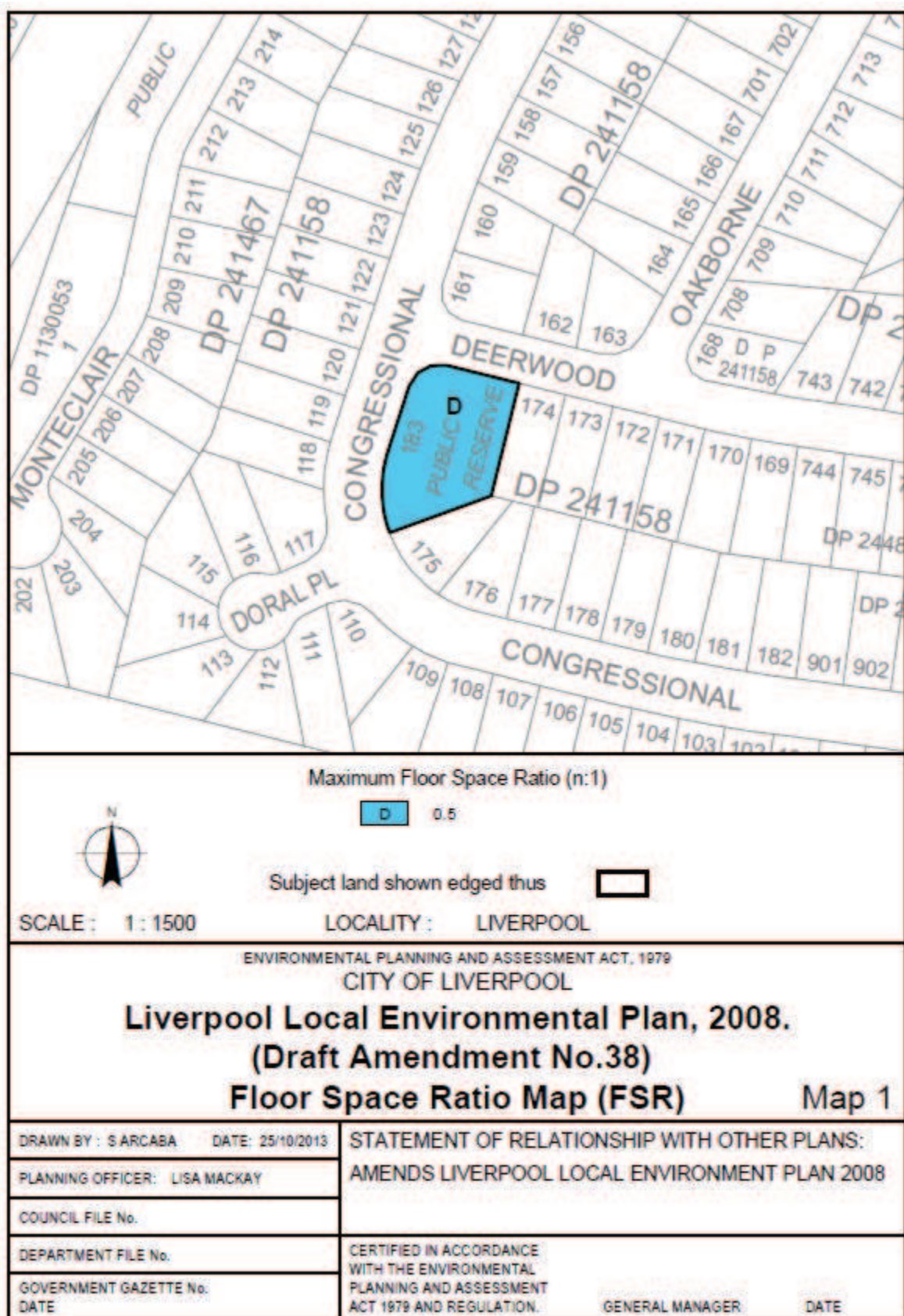


Figure 28 – Proposed floor space ratio changes to Lot 183 DP 241158 - 2A Deerwood Avenue, Liverpool



Figure 29 – Proposed lot size changes to Lot 183 DP 241158 - 2A Deerwood Avenue, Liverpool



Figure 30 – Proposed height of building changes to Lot 183 DP 241158 - 2A Deerwood Avenue, Liverpool

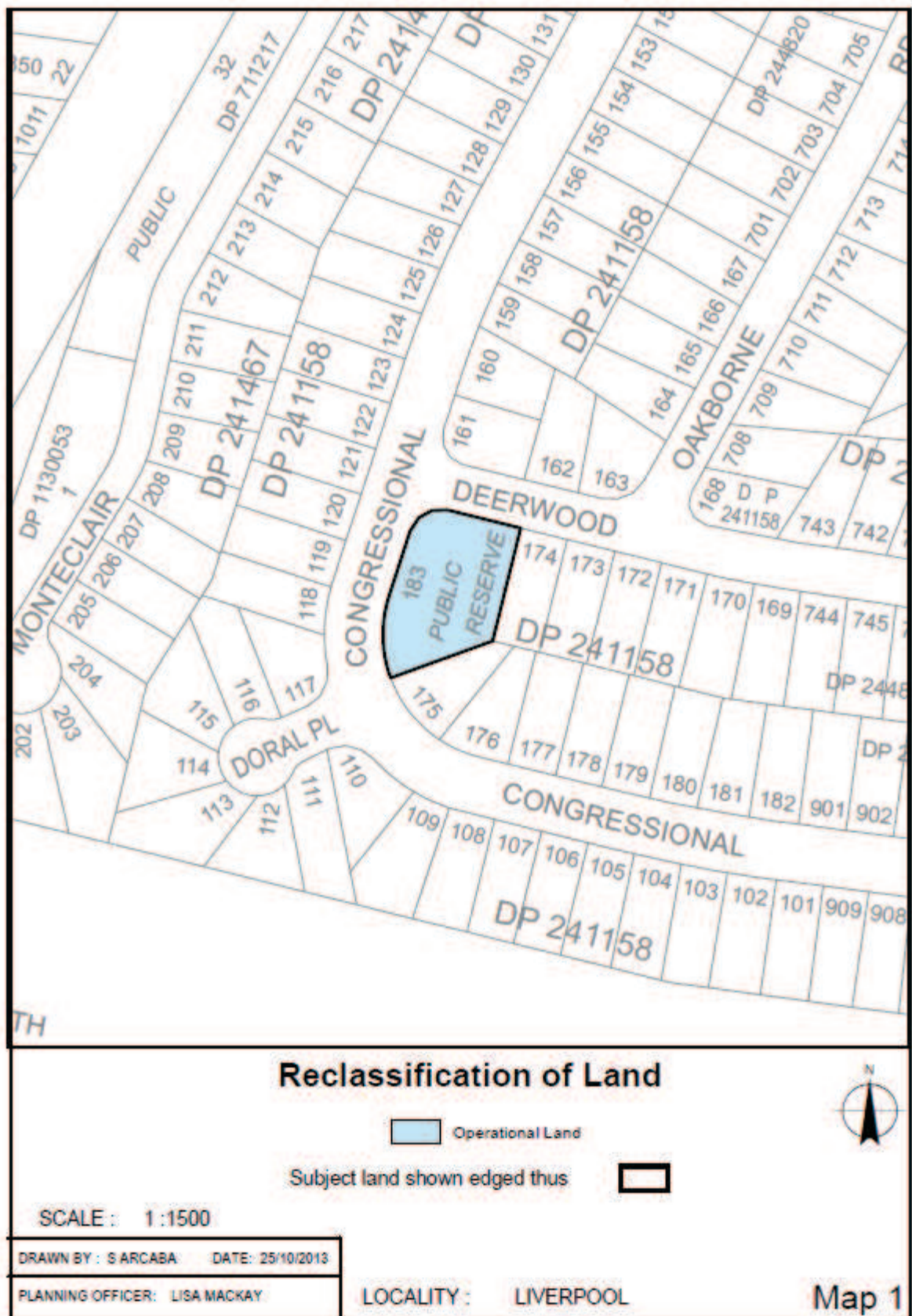


Figure 31 – Proposed land reclassification changes to Lot 183 DP 241158 - 2A Deerwood Avenue, Liverpool



Figure 32 – Proposed land zoning changes to Lot 25 DP 244956 and Lot 118 DP 244942 - 72A Grevillea Crescent, Prestons



Figure 33 – Proposed floor space ratio changes to Lot 25 DP 244956 and Lot 118 DP 244942 - 72A Grevillea Crescent, Prestons



Figure 34 – Proposed lot size changes to Lot 25 DP 244956 and Lot 118 DP 244942 - 72A Grevillea Crescent, Prestons



Figure 35 – Proposed height of building changes to Lot 25 DP 244956 and Lot 118 DP 244942 - 72A Grevillea Crescent, Prestons



Figure 37 – Proposed land zoning changes to Lot 56 DP 567062 and Lot 42 DP 237025 - 230 Newbridge Road, Moorebank

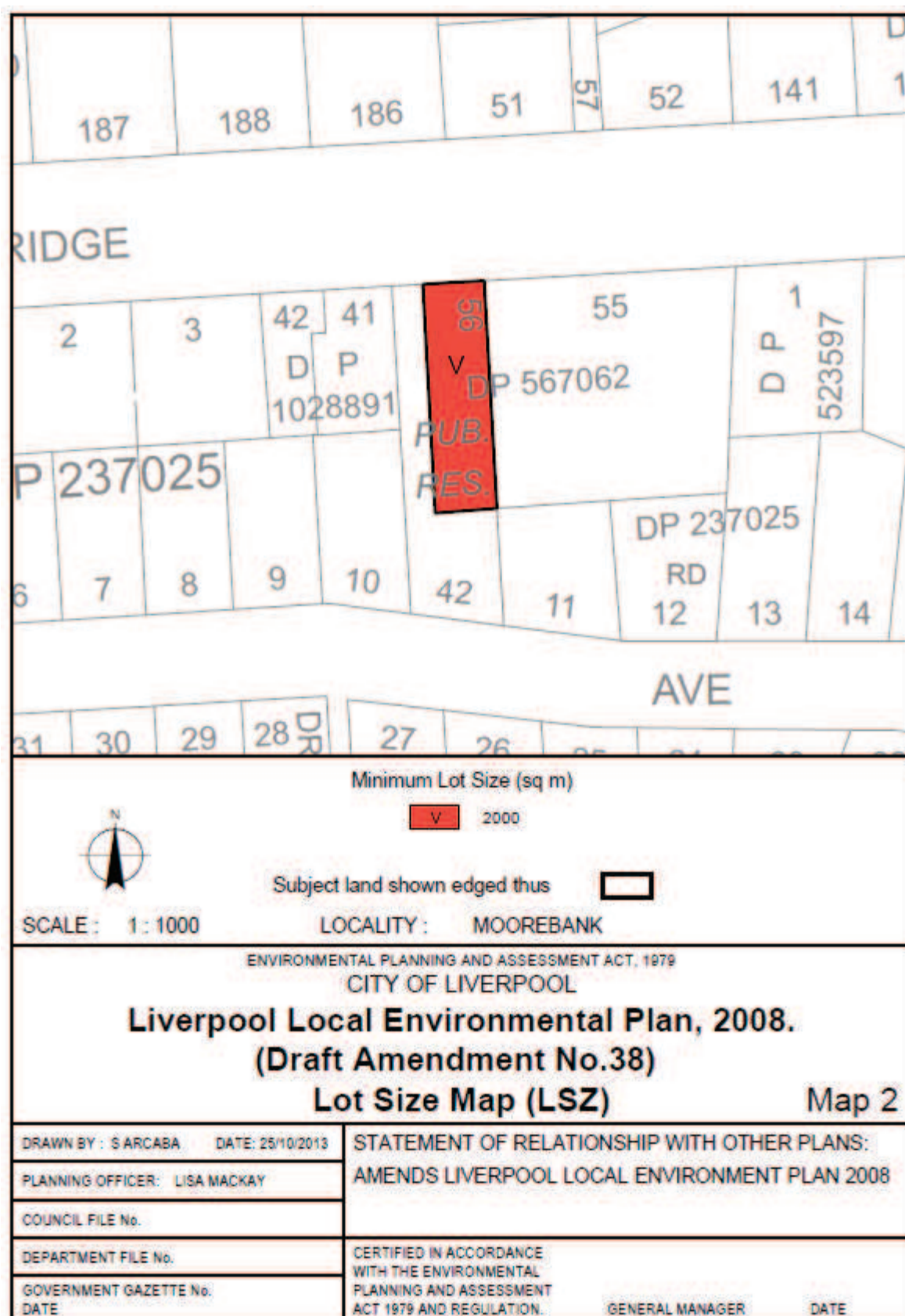


Figure 38 – Proposed lot size changes to Lot 56 DP 567062 and Lot 42 DP 237025 - 230 Newbridge Road, Moorebank



Figure 39 – Proposed land reclassification (part lot) changes to Lot 56 DP 567062 and Lot 42 DP 237025 - 230 Newbridge Road, Moorebank

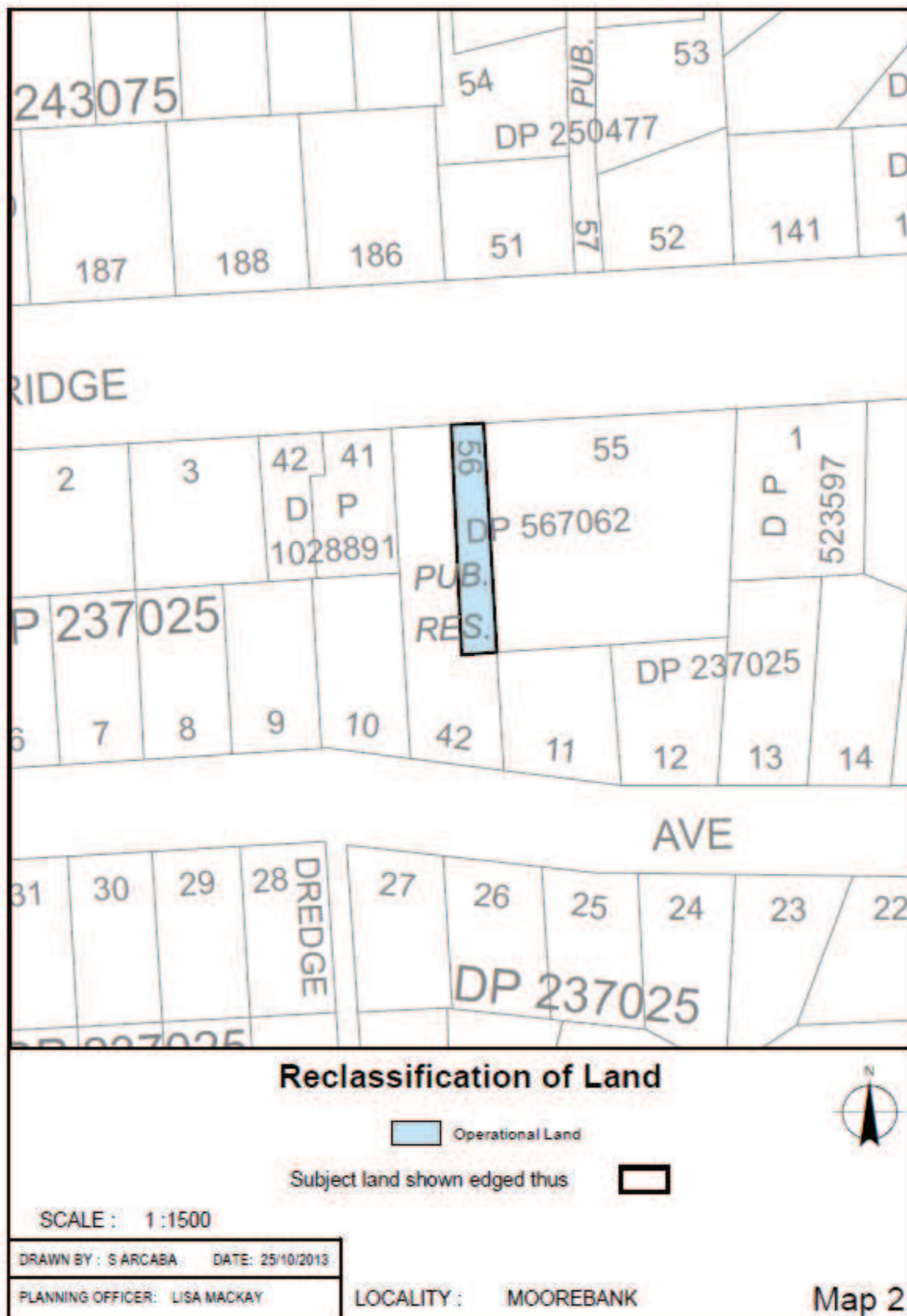


Figure 40 – Proposed land reclassification changes to Lot 56 DP 567062 and Lot 42 DP 237025 - 230 Newbridge Road, Moorebank

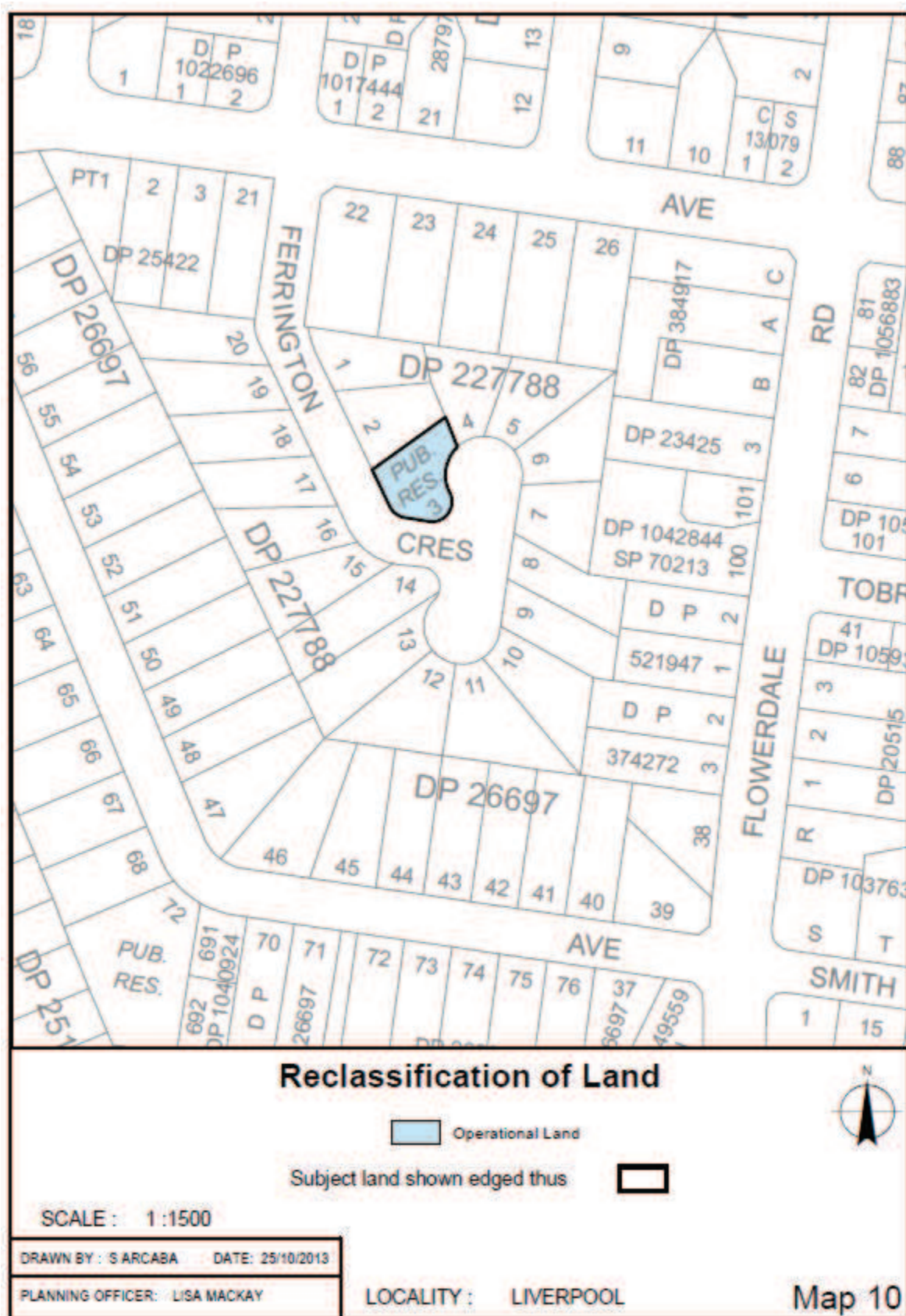


Figure 41 – Proposed land reclassification changes to Lot 3 DP 227788 – 8 Ferrington Crescent, Liverpool

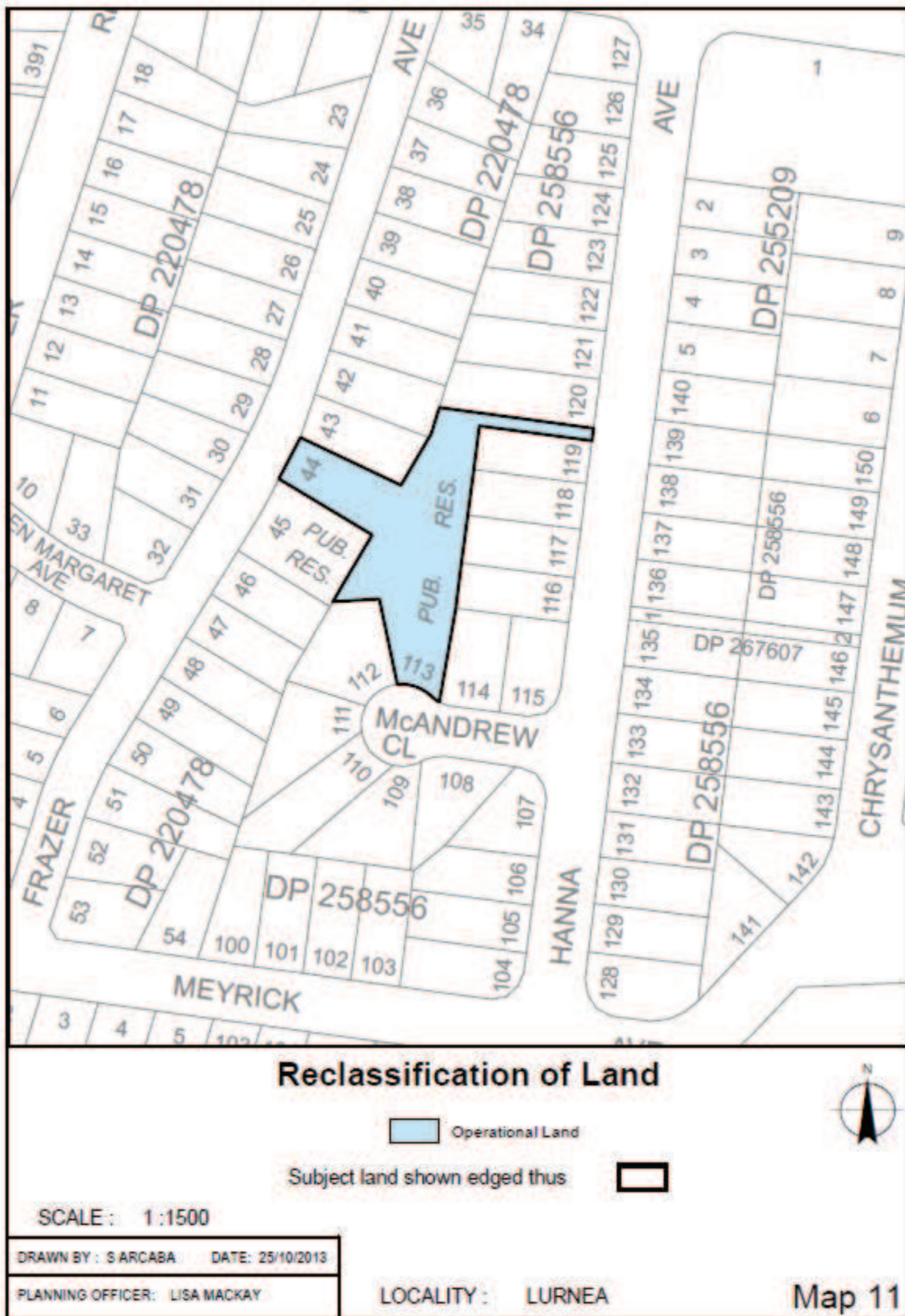


Figure 42 – Proposed land reclassification changes to Lot 45 DP 220478 – 20A Frazer Avenue, Lurnea

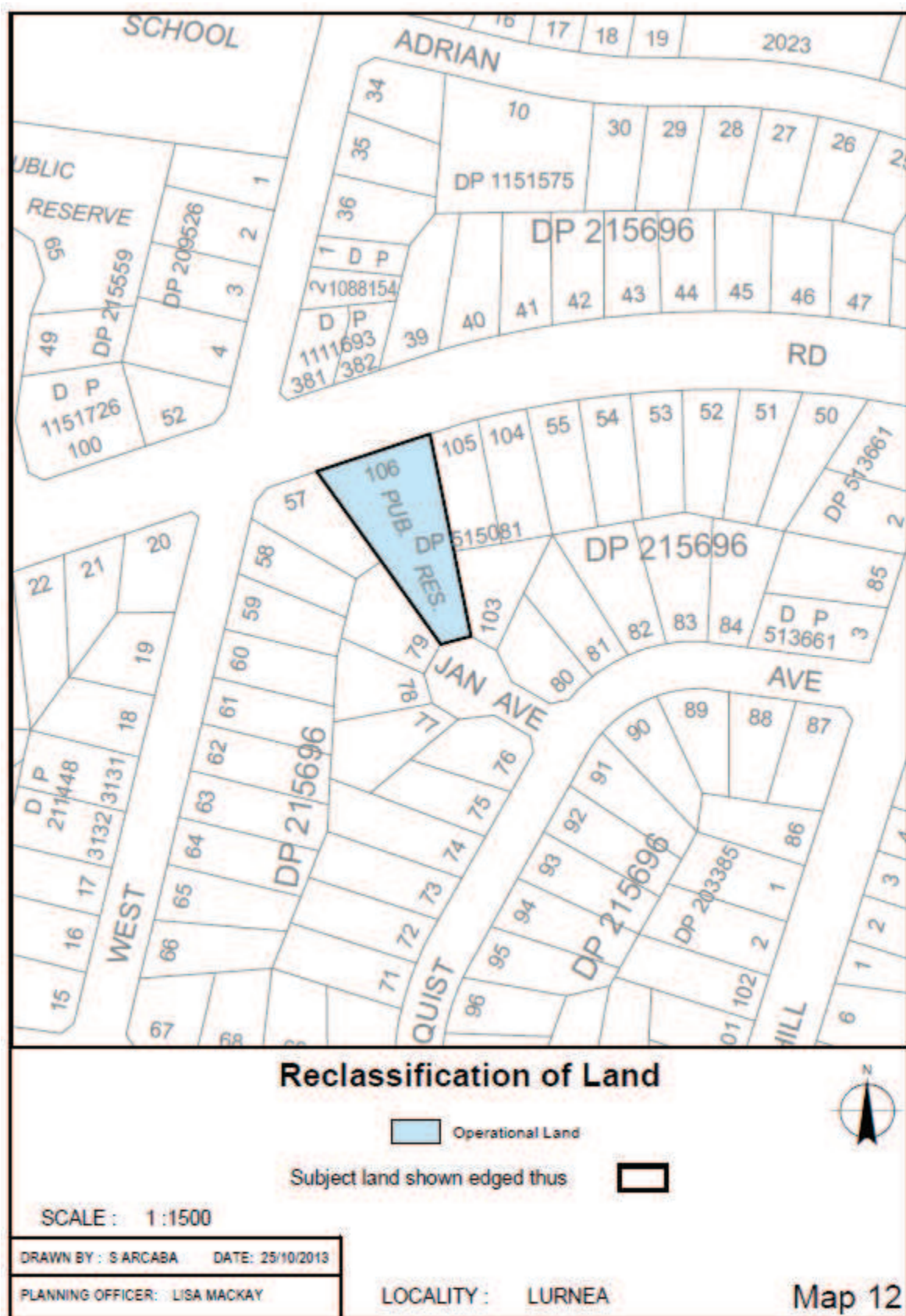


Figure 43 – Proposed land reclassification changes to Lot 106 DP 515081 – 124A Wonga Road, Lurnea

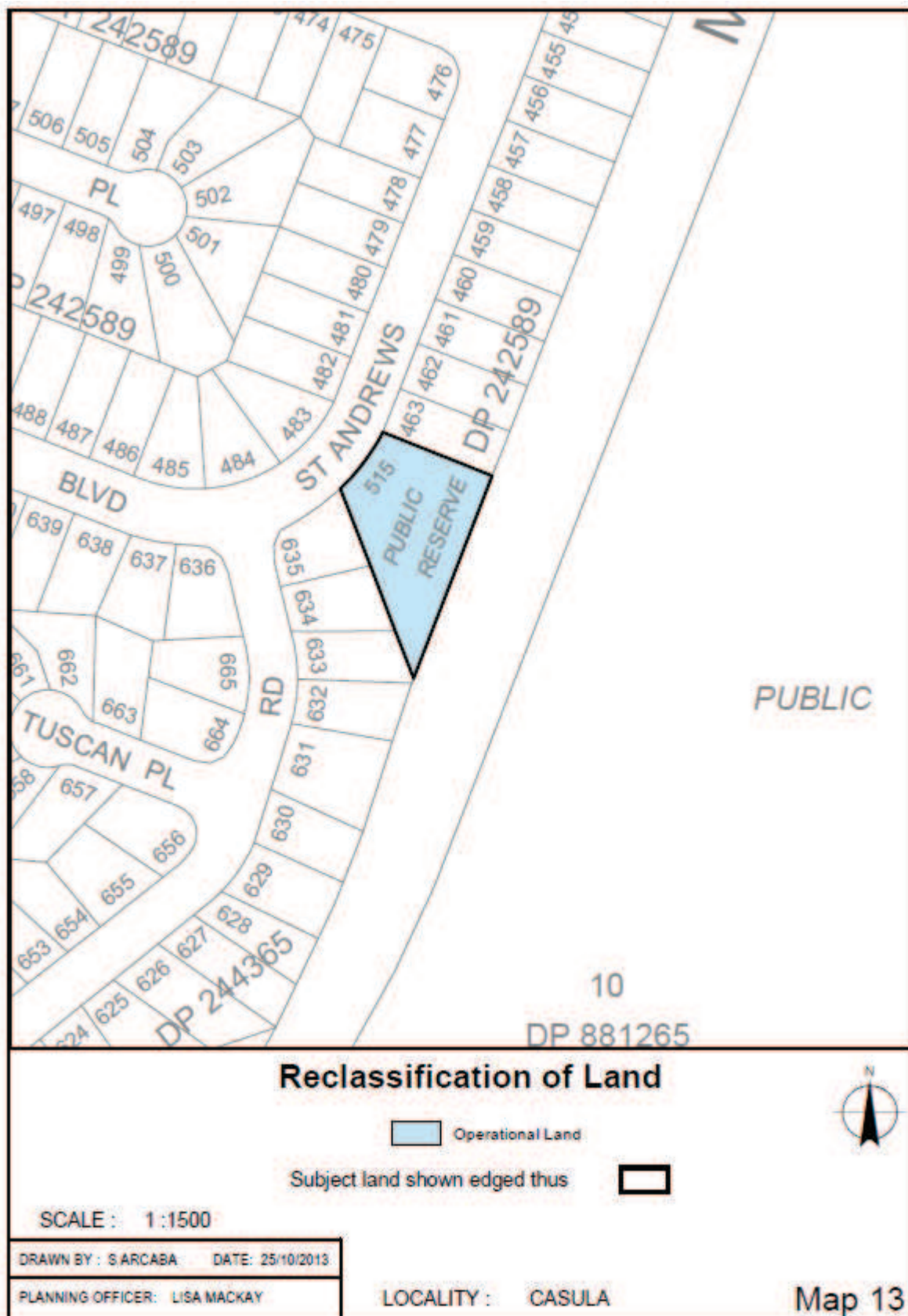


Figure 44 – Proposed land reclassification changes to Lot 151 DP 242589 – 84A St Andrews Boulevard, Casula

Part 5 - Community Consultation

Community consultation will be required to be held for 28 days. As community land is proposed to be reclassified to operational land, a public hearing will be required.

In accordance with Council's 24 September 2014 resolution to '*employ a strategy to engage with the local residents affected by the loss of the parks or part of the parks*' it is proposed that Council will also provide information and availability to comment on *Liverpool Listens*, Council's online community engagement tool, as well as notifying a larger radius than normal in areas that will potentially lose two or more parks as part of this draft amendment to the LLEP 2008.

Part 6 – Project Timeline

Action	Timeframe
Report to Council	24 September 2014
Receive Gateway Determination	November 2014
State authority consultation	February 2015
Public exhibition	March/April 2015
Public Hearing	April 2015
Review of submission	May 2015
Report to Council	June 2015
Forward finalised Planning Proposal, maps and supporting documentation to Parliamentary Counsel	June 2015
Review of Planning Proposal and finalisation of LEP by Parliamentary Counsel	July - December 2015